



HILLINGDON
LONDON



North Planning Committee

Date: TUESDAY, 9 FEBRUARY
2016

Time: 7.30 PM

Venue: COMMITTEE ROOM 5
CIVIC CENTRE
HIGH STREET
UXBRIDGE UB8 1UW

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

To Councillors on the Committee

Eddie Lavery (Chairman)
John Morgan (Vice-Chairman)
Peter Curling (Labour Lead)
Jem Duducu
Duncan Flynn
Raymond Graham
Henry Higgins
John Morse
John Oswell

Published: Monday, 1 February 2016

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Putting our residents first

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A useful guide for those attending Planning Committee meetings

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

Agenda

Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 Matters that have been notified in advance or urgent
- 4 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

PART I - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Applications with a Petition

	Address	Ward	Description & Recommendation	Page
5	Land Adjacent to 68 Knoll Crescent Northwood 70975/APP/2015/3737	Northwood	Two storey detached dwelling with associated parking and amenity space. Recommendation: Refusal	1 - 16 68 - 75
6	Land Between 2 & 6 Woodside Road, Northwood 70377/APP/2015/3826	Northwood Hills	Two storey, 3-bed, detached dwelling with habitable roofspace, with associated parking and amenity space and installation of vehicular crossover to front. Recommendation: Refusal	17 - 28 76 - 90

Applications without a Petition

	Address	Ward	Description & Recommendation	Page
7	Paul Strickland Scanner Centre, Mount Vernon Hospital 3807/APP/2015/4220	Northwood	Installation of temporary two storey portakabin building to be used as office accommodation. Recommendation: Approval	29 - 36 91 - 94
8	23 Joel Street Northwood 8488/APP/2015/3905	Northwood Hills	Change of use from retail (Use Class A1) to a mixed use comprising bespoke bridal wear service, bridal make over service and retailing of related beauty and skin care products (Use Class A1/Sui Generis) involving single storey infill extension to front and new shop front. Recommendation: Approval	37 - 48 95 - 100
9	The Orchard, Ickenham Road Ruislip 62963/ADV/2015/65	West Ruislip	Installation of 3 x externally illuminated fascia signs, 4 x externally illuminated stand alone signs and 1 x internally illuminated menu light box. Recommendation: Approval	49 - 56 101 - 115
10	Woodbine Cottage Tile Kiln Lane Harefield 26852/APP/2015/3699	West Ruislip	Proposed replacement entrance gates from Tile Kiln Lane. Recommendation: Approval	57 - 66 116 - 120

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Report of the Head of Planning, Sport and Green Spaces

Address LAND ADJACENT TO 68 KNOLL CRESCENT KNOLL CRESCENT
NORTHWOOD

Development: Two storey detached dwelling with associated parking and amenity space

LBH Ref Nos: 70975/APP/2015/3737

Drawing Nos: 14/2849/10 Rev. B
553.15.4A
14/2849/11 Rev. A
14/2849/13 Rev. A
14/2849/14 Rev. A
Isometric Plan

Date Plans Received: 08/10/2015

Date(s) of Amendment(s):

Date Application Valid: 15/10/2015

1. SUMMARY

This application seeks permission for a two storey detached dwelling with associated parking and amenity space within an area of land to the rear of 41 and 43 The Drive, Northwood. The house would be accessed off the southern arm of Knoll Crescent.

The site is considered to be a backland development. In the light of changes in policy and guidance in relation to backland development, and given the harm that would be caused to the character and appearance arising from this development it is considered that the development would be unacceptable.

This area currently forms an essential break in the built form and an area of amenity that contributes to the street scene. There is also a useful turning area for vehicles, which serves to emphasise its openness. The loss of this area to further buildings would harm this openness and amenity of the area. Similarly the open aspect from the rear of the properties in The Drive, including the donor property and No.41, would be lost. The proposal would therefore fail to retain the open and green nature that is characteristic of the area.

The scheme is therefore unacceptable in principle, and contrary to planning policies, as set out below.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposed development would constitute a piecemeal form of backland development that would fail to maintain the open and verdant character and appearance of the surrounding area. The proposal is therefore contrary to Part One Policy BE1 and Part 2 Policies BE13 and BE19 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), and Policy 3.5 of the London Plan (March 2015).

2 NON2 Non Standard reason for refusal

The proposed development, by reason of its design, would result in a building which would detract from the character and appearance of the streetscene, causing harm to the visual amenities of the surrounding area. The proposal is, therefore, contrary to Part 1 Policy BE1 and Part 2 Policies BE13 and BE19 of the Hillingdon Local Plan (November 2012).

INFORMATIVES

1 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), the London Plan Policies (2015). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

2 I52 Compulsory Informative (1)

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

3 I53 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (2015) and national guidance.

AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H3	Loss and replacement of residential accommodation

OE1	Protection of the character and amenities of surrounding properties and the local area
OE7	Development in areas likely to flooding - requirement for flood protection measures
R17	Use of planning obligations to supplement the provision of recreation leisure and community facilities
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 3.3	(2015) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2015) Quality and design of housing developments
LPP 3.8	(2015) Housing Choice
LPP 5.3	(2015) Sustainable design and construction
LPP 5.13	(2015) Sustainable drainage
LPP 5.18	(2015) Construction, excavation and demolition waste
LPP 5.7	(2015) Renewable energy
LPP 7.14	(2015) Improving air quality
LPP 7.4	(2015) Local character

4

You are advised that the proposed development represents chargeable development under the London Borough of Hillingdon and the Mayor's Community Infrastructure Levy Charging Schedules. Should the application be subject to an appeal which was allowed the development would be liable.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is situated to the rear of Nos. 41 and 43 The Drive. Though it should be noted that all of the application land is in the ownership of No. 43 The Drive, a currently vacant property. The site is rectangular in shape, measuring 19.1m wide by 71.7m deep, and comprises the rear garden of No 41 The Drive and also extends to the rear of No. 43 The Drive. The site comprises of areas of lawn, trees and vegetation, has an overall area of 0.13Ha, can best be described as verdant in character, and is the subject of area TPO No. 124 which covers land at 35-49 The Drive.

It is worth noting that since the refusal of planning permission for a previous scheme, tree felling and general vegetation removal has been undertaken on the site. However, no protected trees have been removed.

The southern boundary of the site adjoins the southern arm of Knoll Crescent, which currently terminates in the form of a turning area adjacent to the site. Knoll Crescent is characterised by relatively modern properties of several different designs situated within a pleasant semi-urban environment.

The application site forms part of an area of generally wooded garden land which separates the northern and southern arms of Knoll Crescent.

The application site slopes down in an easterly direction from the host dwelling. Therefore the properties in Knoll Crescent [south] are at a considerably lower level than those in The

drive.

Beyond the south eastern boundary is land designated as Green Belt and a Site of Interest for Nature Conservation.

3.2 Proposed Scheme

The application site remains the same as for the refused scheme, however repositioning the building slightly. The application proposes 1 detached house to be built within the rear garden area with access from Knoll Crescent, effectively forming an extension of the existing Knoll Crescent street scene. The proposed house would be to the west of the site. The remaining land to the east, is shown within the current application site but the application does not show the applicants intention for this area.

The footpath will lead to a detached house that is designed to be set into the slope of the site. The proposed house would be two storeys with a maximum height of 5.5m incorporating a flat green roof above. The building would be 15m wide, 7m deep with a terrace at first floor level accessed from the bedroom. It is designed in an 'L' shape with the accommodation sited around a courtyard. Internally this family sized dwelling provides 4 bedrooms on the first floor and a ground floor kitchen and dining space with separate living room creating 179sq.m of internal floorspace. The first floor bridges over the ground floor amenity space enabling views through the building to the trees and landscaping to the rear. Two parking spaces will be set between the existing trees. The materials would be mainly timber.

3.3 Relevant Planning History

68458/APP/2012/779 Land Rear Of 41 & 43 The Drive Northwood

4 x two storey, 4-bed, detached dwellings with associated amenity space and parking and installation of vehicular crossover to front

Decision: 08-08-2012 Refused

68458/APP/2013/1405 Land Rear Of 41 & 43 The Drive Northwood

2 x two storey, 4-bed, detached dwellings with associated amenity space and parking and installation of vehicular crossover

Decision: 28-08-2013 Refused **Appeal:** 20-02-2014 Dismissed

70975/APP/2015/2012 Land Adjacent To 68 Knoll Crescent Northwood

Two storey detached dwelling with associated parking and amenity space

Decision: 26-08-2015 Refused

Comment on Relevant Planning History

Under ref: 70975/APP/2015/2012, planning permission was refused for the two storey detached dwelling with associated parking and amenity space for the following reasons:

1. The proposed development would constitute a piecemeal form of backland development that would fail to maintain the open and verdant character and appearance of the surrounding area. The proposal is therefore contrary to Part One Policy BE1 and Part 2

Policies BE13 and BE19 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), and Policy 3.5 of the London Plan (March 2015).

2. The proposed development, by reason of its design, would result in a building which would detract from the character and appearance of the streetscene, causing harm to the visual amenities of the surrounding area. The proposal is, therefore, contrary to Part 1 Policy BE1 and Part 2 Policies BE13 and BE19 of the Hillingdon Local Plan (November 2012).

3. The proposal fails to make adequate provision for the protection and long-term retention of valuable trees. The proposal therefore does not comply with Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), and Policy 3.5 of the London Plan (March 2015).

Under ref: 68458/APP/2012/779, planning permission was refused for the erection of 4 x two storey, 4-bed, detached dwellings with associated amenity space and parking and installation of vehicular crossover to front on the same area of land for the following reasons:

1. The proposed development would constitute backland development that would fail to maintain the open and verdant character and appearance of the surrounding area. The proposal is therefore contrary to Policies BE13 and BE19 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007), and Policy 3.5 of the London Plan (July 2011).

2. The proposal would result in the loss of a significant number of trees (including protected trees) and would adversely impact on the green vista and arboreal character of the area. The proposal does not take into account the future growth / size of trees and the impact that this growth would have on the amenities of the proposed occupiers. The proposal therefore does not comply with Policy BE38 of the Adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

3. The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development, including a contribution for education facilities. The scheme therefore conflicts with Policy R17 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Hillingdon Planning Obligations Supplementary Document (July 2008).

Under ref: 68458/APP/2013/1405, planning permission was refused and dismissed at appeal for the 2 x two storey, 4-bed, detached dwellings with associated amenity space and parking and installation of vehicular crossover for the following reasons:

1. The proposed development would constitute a piecemeal form of backland development that would fail to maintain the open and verdant character and appearance of the surrounding area. The proposal is therefore contrary to Part One Policy BE1 and Part 2 Policies BE13 and BE19 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), and Policy 3.5 of the London Plan (July 2011).

2. The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development, including a contribution for education facilities. The scheme therefore conflicts with Policy R17 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November

2012) and the Hillingdon Planning Obligations Supplementary Document (July 2008).

4. Planning Policies and Standards

The proposed development is assessed against the Development Plan Policies contained within Hillingdon Local Plan: Part 1, Saved Unitary Development Plan policies, the London Plan 2015, the NPPF and supplementary planning guidance prepared by both LB Hillingdon and the GLA.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.H1 (2012) Housing Growth

Part 2 Policies:

- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM7 Consideration of traffic generated by proposed developments.
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
- AM14 New development and car parking standards.
- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE22 Residential extensions/buildings of two or more storeys.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- H3 Loss and replacement of residential accommodation
- OE1 Protection of the character and amenities of surrounding properties and the local area
- OE7 Development in areas likely to flooding - requirement for flood protection measures
- R17 Use of planning obligations to supplement the provision of recreation, leisure and community facilities
- HDAS-LAY Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
- LPP 3.3 (2015) Increasing housing supply
- LPP 3.4 (2015) Optimising housing potential

- LPP 3.5 (2015) Quality and design of housing developments
- LPP 3.8 (2015) Housing Choice
- LPP 5.3 (2015) Sustainable design and construction
- LPP 5.13 (2015) Sustainable drainage
- LPP 5.18 (2015) Construction, excavation and demolition waste
- LPP 5.7 (2015) Renewable energy
- LPP 7.14 (2015) Improving air quality
- LPP 7.4 (2015) Local character

5. Advertisement and Site Notice

- 5.1** Advertisement Expiry Date:- Not applicable
- 5.2** Site Notice Expiry Date:- **17th November 2015**

6. Consultations

External Consultees

32 neighbouring properties and the Northwood Residents Association were notified of the proposed development on 16th October 2015 and a site notice was erected adjacent the site on 24th October 2015.

By the close of the consultation period 17 neighbouring residents had objected to the proposed development and a petition with 50 signatures was received.

The objections can be summarised as the following:

- i) Backland development
- ii) Encroachment on to neighbouring properties land.
- iii) Under provision of parking;
- iv) Traffic impact & harm to highway safety;
- v) Loss of trees and works on trees have begun without planning consent;
- vi) Set a precedent for more houses to be developed on this site;
- vii) Harm to character and appearance of the surrounding area;
- viii) Potential foundation issues;
- ix) Loss of biodiversity;
- x) Potential Flooding and Drainage issues;
- xi) Proposed house is identical to the previous refused scheme, other than repositioning it slightly.

Case Officer Comments: These above concerns will be considered in the main body of the report.

Concerns raised relating to impact on foundations which is a matter dealt with under other legislation.

Internal Consultees

Trees and Landscape comments:

This site is covered by TPO 124. There are several large, mature protected trees on and adjacent to this site. The current scheme has been amended in such a way as to minimise harm to the valuable, protected Ash trees (T40 & T41 on TPO 124). A small group of (non-protected) Ash, to the

north of the proposed house, are due to be removed however these trees are all in poor condition (die back and poor extension growth evident throughout the crowns).

The re-planting scheme is adequate and will restore tree cover to the site.

In order to show that this scheme makes adequate provision for the protection and long-term retention of valuable tree/s, final details of how the tree protection measures will be assessed before demolition / construction starts and how the tree protection (and any procedures described within approved arboricultural method statements) will be supervised during construction.

Conclusion - No objection subject to conditions RES8 (implementation of tree protection measures and final supervision / monitoring details), RES9 and RES10.

EPU comments:

I refer to your consultation of 16 October, and to our previous comments on the same application that was refused in 2012. We would have no additional comments. As advised a condition to test the garden soils is advised to ensure that the gardens are clean and free from contamination for the new residents.

Highway comments:

As there is no garage with the property, provision should be made for secure and covered cycle storage.

The two parking spaces are accessed off a turning head, a condition is required to ensure no parking takes place at any time on the turning head.

Subject to the above, no objections are raised on highway grounds.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

As with the previous application, this proposal would represent backland development to which there have been recent changes to policy, as contained within both the London Plan 2015 and the National Planning Policy Framework.

With regard to the London Plan, Policy 3.5 states that developments should be of the highest quality internally, externally and in relation to their context and to the wider environment, taking account of strategic policies in the plan to protect and enhance London's residential environment and attractiveness as a place to live. Boroughs may in their LDF's introduce a presumption against development on back gardens where this can be locally justified.

The London Plan comments in Paragraph 3.34 comments that "Directly and indirectly back gardens play important roles in addressing many of these policy concerns, as well as being a much cherished part of the London townscape contributing to communities' sense of place and quality of life. Pressure for new housing means that they can be threatened by inappropriate development and their loss can cause significant local concern. This Plan therefore supports development plan-led presumptions against development on backgardens where locally justified by a sound local evidence base..."

The Hillingdon Local Plan: Part 1 Strategic Policies (November 2012) in policy BE1 requires that all new development should improve and maintain the quality of the built

environment in order to create successful and sustainable neighbourhoods. Point 9 of policy BE1 seeks to prevent proposals that would result in the inappropriate development of gardens and green spaces that erode the character and biodiversity of suburban areas and increase the risk of flooding through the loss of permeable areas.

Consideration also needs to be given to 'saved' Unitary Development Plan policy H12. This policy seeks to prevent backland development where it would cause undue disturbance or loss of privacy to adjoining neighbours.

It is considered that this proposal is clearly a backland development. The loss of the rear garden area and the impact of the new building proposed on an otherwise green space, adjacent to the Green Belt and clearly visible from both public and private areas would be detrimental to the character of the area.

7.02 Density of the proposed development

Paragraph 4.1 of HDAS Residential Layouts specifies that in new developments numerical densities are considered to be more appropriate to larger sites and will not be used in the assessment of schemes of less than 10 units, such as this proposal. The key consideration is therefore whether the development sits comfortably within its environment rather than a consideration of the density of the proposal.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site is not within or adjacent a special character area.

7.04 Airport safeguarding

There are no airport safeguarding issues raised by this application.

7.05 Impact on the green belt

The site is not situated within Green Belt land although it is adjacent to it. However, given the existing built environment and its relationship with the boundary, it is considered on balance that there would be no adverse impact on the openness of the Green Belt. Where seen from within the adjoining Green Belt the buildings would be seen as a continuation of the Knoll Crescent properties. No Green Belt issues are therefore raised by this application.

7.07 Impact on the character & appearance of the area

As detailed elsewhere in this report, the proposed development would impact on the character and appearance of the area, resulting in the loss of an area of open space that contributes to the character of the area and the amenities of existing residents that surround the site.

This is particularly apparent from the end of Knoll Crescent, where the access to the proposed site would be created and the house constructed. This area currently forms a break in the built form and an area of amenity that contributes to the street scene. This break in built form is considered essential to allow for the prominence of the trees to remain the dominate visual feature safeguarding the current character of the area.

Fronting towards the turning area for vehicles, the site is prominent emphasising its openness. The loss of this area to further buildings would harm this openness and amenity value. Similarly the open aspect from the rear of the properties in The Drive, including the donor property and No.41, would be lost.

The proposal would therefore fail to retain the open and green nature that is characteristic of the area, and would be contrary to Policy BE1 of the adopted Hillingdon Local Plan: Part One Strategic Policies (November 2012), Policies BE13 and BE19 of the adopted

Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Policy 3.5 of the London Plan (March 2015).

7.08 Impact on neighbours

The Council's Supplementary Planning Document HDAS: Residential Layouts requires buildings of two or more storeys to maintain at least a 15m separation distance from adjoining properties to avoid appearing overdominant and a 21m distance maintained between facing habitable room windows and private amenity space, considered to be a 3m deep 'patio' area adjoining the rear elevation of a property to safeguard privacy.

Whilst the proposed development would result in a harmful change in character of the area, it is considered that there would be no material impact on the amenities of adjoining occupiers. Appropriate conditions could be imposed on any planning permission granted to ensure that there would be no adverse impact on the amenities of the adjoining occupiers, such as, for example through the provision of obscure glazing, or preventing the installation of roof extensions and dormers, or outbuildings.

The new buildings would be sited at a lower level than the properties in The Drive, similar to the existing relationship with other properties in The Drive and Knoll Crescent. The relationship between the new buildings with the properties adjacent in Knoll Crescent would also be satisfactory.

There would thus be no significant adverse impact in terms of loss of light or privacy, or overlooking or any overbearing impact or visual intrusion that would justify a refusal of planning permission.

In this respect the proposal is therefore considered to comply with Policies BE20, BE21 and BE24 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.09 Living conditions for future occupiers

The National Housing Standards came into effect on the 1 October 2015. Mayor's Housing Standards: Transition Policy Statement sets out that from this date relevant London Plan policy and associated guidance in the Housing SPG should be interpreted by reference to the nearest equivalent new national technical standard.

Mayor's Housing Standards: Transition Policy Statement sets out the minimum internal floor space required for new housing development in order to ensure that there is an adequate level of amenity for existing and future occupants. Table 3.3 requires a 2 storey, 4 bedroom, 6 person dwelling, to have a minimum size of 107 sq.m. The proposed new dwelling would be approximately 179sq.m and would comply with the required standard resulting in a satisfactory residential environment for future occupiers.

Section four of the Council's HDAS: Residential Layouts states that developments should incorporate usable attractively laid out and conveniently located garden space in relation to the dwellings they serve. It should be of an appropriate size, having regard to the size of the houses and the character of the area.

The side/rear amenity space meets these requirements and therefore would provide a satisfactory standard of residential amenity for future householders. The level of amenity space retained for the use of no.43 The Drive would also remain acceptable in accordance with the Council's guidance. As such, the scheme complies with Policies BE23 and BE24 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

The proposed bedrooms would be screened by hedges and set more than 21m from neighbouring properties and would therefore not be overlooked by adjoining properties.

It is also considered, that all the proposed habitable rooms would maintain an adequate outlook and source of natural light, therefore complying with Policy 3.5 of the London Plan (2015).

7.10 Traffic impact, car/cycle parking, pedestrian safety

Two parking spaces are provided for the proposed dwelling. This is considered satisfactory and in accordance with the Council's parking standards.

The Council's Highways Engineer raises no objection to the proposed parking and access arrangements (other than in respect of secure covered cycle storage should be provided). In addition, a condition is required to ensure no parking takes place at any time on the turning head. As such, it is considered that the scheme complies with Policies AM7 and AM14 of the adopted Hillingdon Local Plan: Part Two -Saved UDP Policies (November 2012).

7.11 Urban design, access and security

The impact of the development on the verdant character of the area the design of the houses and their relationship with each other, in their own right, are considered unacceptable.

The proposed house, would have a flat green roof above with a terrace to the side. The building would be constructed of timber to integrate with the surroundings. However, the house would sit within the building line of the existing houses fronting onto Knoll Crescent.

The proposed design would not follow the pattern of development with the houses on Knoll Crescent and The Drive which have a clear consistency to their design. It is therefore considered that the design of the house as proposed would detract from the character and appearance of the surrounding area, contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Layouts.

With regard to access and security, had the application not been recommended for refusal, conditions would have been sufficient to ensure compliance with the requirements of Policy BE18 of the adopted Hillingdon Local Plan: Part Two -Saved UDP Policies (November 2012) and the Council's Supplementary Planning Guidance on Community Safety by Design.

7.12 Disabled access

If the scheme had been found acceptable a condition would have been recommended to ensure the development would meet building regulation M4 (2) 'accessible and adaptable dwellings' in accordance with Policy 3.8 c of the London Plan (March 2015) and the Mayor's Housing Standards: Transition Policy Statement.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, Landscaping and Ecology

Policy BE38 of the Saved UDP requires development proposals to retain and utilise landscape features of merit and provide new planting wherever appropriate.

This site is covered by TPO 124. The current scheme has been amended in such a way as to minimise harm to the valuable, protected Ash trees (T40 & T41 on TPO 124). A small group of (non-protected) Ash, to the north of the proposed house, are due to be removed however these trees are all in poor condition (die back and poor extension growth evident throughout the crowns). The re-planting scheme is adequate and will restore tree cover to the site.

The proposal addresses the previous reason for refusal and the scheme makes adequate provision for the protection and long-term retention of valuable tree/s, subject to conditions.

7.15 Sustainable waste management

The house would have individual bin stores and the future occupiers could bring their rubbish to the end of the proposed access drive on refuse collection day accordingly the waste management provision is not considered to raise a concern.

7.16 Renewable energy / Sustainability

The proposal would be required to achieve appropriate standards of sustainable design and reduce water consumption in accordance with policies contained within section 5 of the London Plan. Had the development been acceptable in other respects this matter could have been dealt with by way of appropriate conditions.

7.17 Flooding or Drainage Issues

The site does not fall within a Flood Zone and therefore the proposed development is not at potential risk of flooding.

7.18 Noise or Air Quality Issues

It is considered that the proposal would not give rise to any additional noise or air quality issues of concern.

7.19 Comments on Public Consultations

No further comments with regards to public consultation.

7.20 Planning Obligations

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014 and the Hillingdon CIL charge for residential developments is £95 per square metre of additional floorspace. This is in addition to the Mayoral CIL charge of £35 per sq metre.

Therefore the Hillingdon & Mayoral CIL Charges for the proposed development of 180sq metres of additional floorspace are as follows:

Hillingdon CIL = £17,893.67

Mayoral CIL = £7,006.28

Total = £24,899.95

7.21 Expediency of enforcement action

There are no enforcement issues raised by this application.

7.22 Other Issues

None

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in

accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

N/A

10. CONCLUSION

The proposed development would constitute a piecemeal form of backland development that would fail to maintain the open and verdant character and appearance of the surrounding area. Furthermore, the proposed development, by reason of its design, would result in a building which would detract from the character and appearance of the streetscene, causing harm to the visual amenities of the surrounding area.

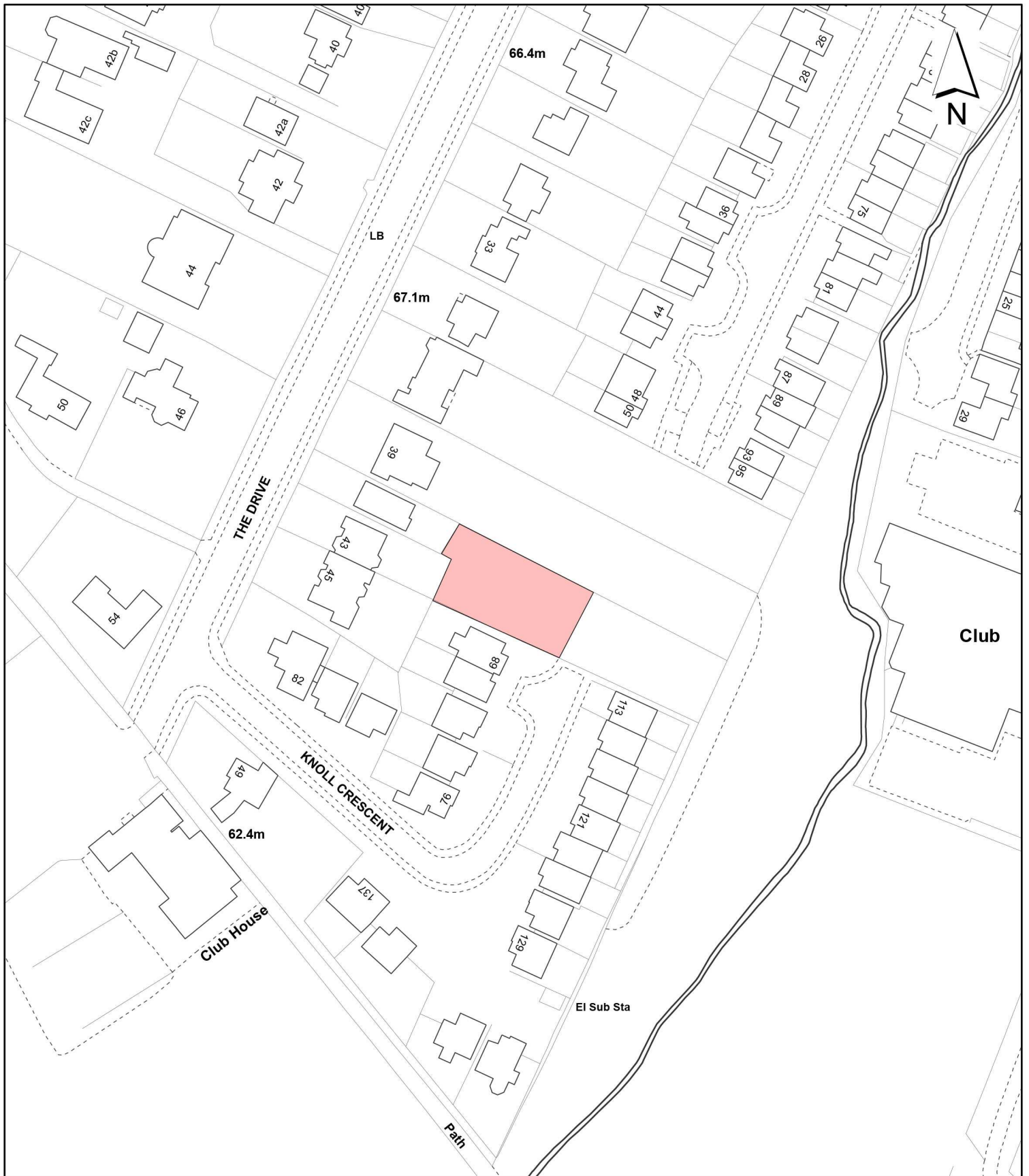
For these reasons it is recommended for refusal.

11. Reference Documents

Hillingdon Local Plan (November 2012)
London Plan (March 2015)
National Planning Policy Framework
HDAS: Residential Layouts
Supplementary Planning Guidance - Community Safety by Design
Supplementary Planning Guidance - Noise
Supplementary Planning Guidance - Air Quality
HDAS: Accessible Hillingdon

Contact Officer: Mandeep Chaggar

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.
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Site Address:

**Land adjacent to 68 Knoll Crescent
 Knoll Crescent
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

70975/APP/2015/3737

Scale:

1:1,250

Planning Committee:

North Page 15

Date:

February 2016



HILLINGDON
 LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address LAND BETWEEN 2 & 6 WOODSIDE ROAD NORTHWOOD

Development: Two storey, 3-bed, detached dwelling with habitable roofspace, with associated parking and amenity space and installation of vehicular crossover to front

LBH Ref Nos: 70377/APP/2015/3826

Drawing Nos: WS/PL/102
WS/PL/103
WS/PL/104
WS/PL/200
WS/PL/201
WS/PL/202
WS/PL/101
WS/FS/203
WS/PL/300
WS/PL/301
WS/EX/001
WS/EX/002
WS/PL/100
WS/PL/302
Design and Access Statement

Date Plans Received: 15/10/2015 **Date(s) of Amendment(s):**

Date Application Valid: 16/11/2015

1. SUMMARY

Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states that development will not be permitted if the layout and appearance fail to harmonise with the existing street scene, and BE19 states the LPA will seek to ensure that new development within residential areas compliments or improves the amenity and the character of the area.

The proposed dwelling is not acceptable in design terms and would result in a bulky and incongruous addition to the street scene to the detriment of the Area of Special Local Character.

It is therefore recommended for refusal.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposal, by reason of its size, scale, bulk and design, would represent a visually unsympathetic form of development that would detract from the character, appearance and visual amenity of the wider Area of Special Local Character. The proposal would therefore be contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE5, BE6, BE13, BE15 and BE19 of the Hillingdon Local Plan:

INFORMATIVES

1 159 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2015). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises an area of open land situated on the eastern side of Woodside Road and was formerly an area of garden attached to no. 2. The land is landscaped and well maintained, enclosed on three sides by mature well established hedgerows and partitioned from no. 2 by a closeboard fence.

The street scene is predominantly residential in character and is largely characterised by detached properties located within substantial plots.

The application site lies within the 'Developed Area' as identified in the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and within the Gatehill Farm Estate Area of Special Local Character. It is also covered by TPO 99.

3.2 Proposed Scheme

The proposal is for the erection of a two storey, 3-bed, detached dwelling with habitable roofspace, associated parking and amenity space with the installation of vehicular crossover to the front.

3.3 Relevant Planning History

70377/PRC/2014/107 Land Between 2 & 6 Woodside Road Northwood

Proposed detached part single, part two storey dwelling house

Decision: 20-02-2015 NO

Comment on Relevant Planning History

The pre application considered the principle of developing the site, which in principle is acceptable. However limited information was received with the submission and only limited advice was provided.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE5	New development within areas of special local character
BE6	New development within Gate Hill Farm and Copsewood Estates areas of special local character
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
LPP 3.5	(2015) Quality and design of housing developments
LPP 5.13	(2015) Sustainable drainage
LPP 5.14	(2015) Water quality and wastewater infrastructure
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- **18th December 2015**

6. Consultations

External Consultees

The following neighbours were consulted for a period of 21 days expiring on the 9 December 2015 as follows:

- 2 Woodside Road
- 7 Gatehill Road
- 3 Woodside Road
- 6 Woodside Road
- 5 Woodside Road
- 1 Woodside Road
- Hurley
- 4 Gatehill Road
- 8a Wieland Road

Nine responses were received from near by neighbours who raise the following points:

- Impact on the character of the area
- Set a precedent to allow people to develop gardens for separate dwellings in the Gate Hill Estate
- Loss of amenity to the neighbouring houses
- No 2 would have no rear garden
- This is a green field site and there has never been any structure on it
- Loss of light to house and garden
- Loss of privacy
- Removal of hedges will impact on the local landscape character
- The 3 properties will all be very close and cramped in appearance
- Not an undeveloped plot but is a garden
- Land ownership
- The applicant is a property developer and claims he will be the end user of the house
- Design and Access Statement fails to demonstrate robust assessment of the area
- No details of boundary treatments
- Fails to analyse typology by illustrating a section through the street and considering building line
- Fails to demonstrate lifetime home standards
- Contrary to policy
- Insufficient space for a new dwelling
- Vehicle exit on a blind bend and would be dangerous

Officer response:

Each application is assessed on its own merits, with regard to the site, the proposal and relevant policies. The lack of a tree survey and details for the boundary treatments have been considered by the Tree/Landscape Officer. Issues of land ownership are not planning considerations. All other issues are addressed in the report.

A petition of 38 signatories was also submitted against the proposal.

Gatehill Residents Association

The GRA formally object on the following issues

- The land up until recently was the garden for no.2 and has now been separated by a 2m high fence, although both are still the same ownership
- Loss of garden for no.2
- Loss of light of the existing side windows of no.2
- No reference is made to the loss of light to the side windows of no.6
- The building is overly high in proportion to its width in comparison to the surrounding properties
- If minded to approve permitted rights should be removed for the conversion of the garage

Northwood Residents Association:

No response

Northwood Hills Residents Association:

- Dispute over the use of the land. This is garden grab and contrary to NPPF
- No tree survey
- The development states a 3 bed dwelling however 2 additional rooms named as studies. This should be for a 5 bed house
- Reduce the garden for no.2
- Out of keeping with the area
- Extends beyond the rear building line of no. 6 causing overshadowing of the private amenity space enjoyed by the residents.

Internal Consultees

Access Officer:

The submitted plans indicate that the proposed development could satisfy the requirements for a Category 2 dwelling. Acceptable subject to a suitable planning condition.

Highways:

In principle the vehicle access would be acceptable, however should be reduced in size to an acceptable standard.

Conservation and Urban Design:

The design of the proposed new house is of a poor quality, which is both uncharacteristic of, and thus inappropriate for, this ASLC. It has been designed around the planning standards and the restrictions of its wedge shaped plot to maximise floor space, rather than designed as an appropriate and attractive entity in itself. For example, the roof form is unattractive, being very convoluted with a narrow crown, whilst the rear dormer and front roof lights are over dominant within the roofs. The gable is too weak and the glazing out of proportion with the walling. The single storey extensions on three of its four sides give the building a very strange and off-balanced appearance. The front of the house appears to extend too far forward on the site, and the loss of more than half of the front hedge is very regrettable.

Trees/Landscaping:

The site is covered by TPO99 however there are no protected trees remaining on site and none which merit a protection order. The site layout provides appropriate amenity space and conditions should be imposed to ensure that the proposal preserves and enhances the character of the surrounding natural and built environment.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Concern has been raised with regard to garden grabbing contrary to the NPPF, which identifies Local Authorities should consider the case for setting out policies to resist inappropriate development of residential gardens. In line with this Policy H12 of the Hillingdon Local Plan (November 2012) advises proposals for backland development will only be considered if no undue disturbance or loss of privacy is likely to be caused. However the NPPF also has a requirement to encourage the effective use of land by re-using land. This is an existing area of side garden forming part of the residential unit no. 2 Woodside Road, which within planning considerations is considered to be a brownfield site. The fact that the numbering goes from 2 to 6 would suggest this plot of land was originally intended for an additional residential unit, before being incorporated within no. 2 as part of the garden.

The site lies within an established residential area where there would be no objection in principle to the intensification of the residential use of the site, subject to all other material

planning considerations being acceptable, in accordance with the Hillingdon Local Plan (November 2012).

Given the residential character of the surrounding area, there is no policy objection to the development of the site to provide residential accommodation, subject to an appropriate density and design, and the proposal being in accordance with all of the relevant planning policies and supplementary guidance.

7.02 Density of the proposed development

Policy 3.4 of the London Plan (2015) seeks to ensure that the new development takes into account local context and character, the design principles in Chapter 7 and public transport capacity development should optimise housing output for different types of location within the relative density range shown in Table 3.2. Development proposals which compromise this policy should be resisted.

The density matrix, however, is only of limited value when looking at small scale development such as that proposed with this application. In such cases, it is often more appropriate to consider how the development harmonises with its surroundings and its impact on adjoining occupiers.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

With specific reference to the site location within an Area of Special Local Character, Policy BE5 of the Hillingdon Local Plan: Part Two - Saved Unitary Development Plan Policies (November 2012) states that new development should harmonise with the materials, design features, architectural style and building heights predominant in such areas. This is supported by Policy 7.4 of the London Plan (2015) which requires developments to have regard to local character.

The Gatehill Farm Estate was originally built during the inter-war period, in the early 1920s. The sales brochure stated that spacious and gracious were obvious characteristics of the area. The houses were to be individually designed to harmonise with their environment and to provide an interesting variation of style. Therefore the addition of a new property would need to respect the established character of the area.

The proposed dwelling measures 9.05m in width by 12.2m in depth and has a small crown roof with a maximum height of 8.3m. This includes a two storey front and side projection and a single storey front, side and rear element, with a pitched roof of 3.75m high. The roof form is unattractive, being very convoluted with a narrow crown, whilst the rear dormer and front roof lights are over dominant within the roofs. The gable is too weak and the glazing out of proportion with the walling. The single storey extensions on three of its four sides give the building a very strange and off-balanced appearance. The front of the house appears to extend too far forward on the site, and the loss of more than half of the front hedge is very regrettable. As proposed the design of the dwelling is considered inappropriate and out of keeping with the style and characteristics of the Gatehill Estate ASLC.

7.04 Airport safeguarding

Not applicable to this application

7.05 Impact on the green belt

Not applicable to this application

7.07 Impact on the character & appearance of the area

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) states that all new developments should achieve a high quality of design in all new buildings

and the public realm contributes to community cohesion and a sense of place. Policies BE13 and BE15 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) resist any development which would fail to harmonise with the existing street scene or would fail to safeguard the design of existing and adjoining sites. Furthermore Policy BE6 advises new dwellings within the Gatehill Estate ASLC should be constructed on plots of a similar average width to the surrounding development; be constructed within a similar building line and be of a similar proportion to the adjacent houses and reflect the architectural style. Policy BE19 also seeks to ensure that new development will compliment or improve the character of the area. The NPPF notes the importance of achieving design which is appropriate to its context stating that 'Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.'

There are a diverse range of styles, designs and materials in the makeup of the existing properties within the street scene. This comprises two storey and two and a half storey properties, many of which have been extended. Part two storey front projections are not uncommon, however single storey front projections are. The proposed single storey wrap around with varying roof pitches is an incongruous feature within the street scene, as is the crown roof detail. It is acknowledged that the proposed crown roof detail is smaller than the few that were approved historically within the area, however due to the ridge at the same height and running at right angles to the main roof line, when viewed from the street scene this would appear larger. As such in terms of design the proposal is considered out of keeping with the character and appearance of the surrounding Area of Special Local Character and that its visual impact is unacceptable.

Therefore the proposal fails to reflect the architectural character and appearance of the Gate Hill Estate ASLC and fails to comply with the requirements of Policies BE5, BE6, BE13, BE15 & BE19 of the Hillingdon Local Plan Part 2 Saved Policies (November 2012).

7.08 Impact on neighbours

With regard to the impact of the amenities on the adjoining occupiers, Sections 4.9 of the SPD: New Residential Layouts, in relation to new dwellings, states all residential developments and amenity space should receive adequate daylight and sunlight. The daylight and sunlight available to adjoining properties should be adequately protected. Where a two or more storey building abuts a property or its garden, adequate distance should be maintained to overcome possible over-domination.

The proposed dwelling would extend 3.25m beyond the rear of the adjacent property no.6 and is set back from the boundary by 1.5m, giving a total distance of separation of 2.5m with the single storey element and 3.9m to the side of the two storey element. It is noted that there are windows on the side elevation of no. 6 facing the application site and these include 2 at ground floor, 2 at first floor and 1 serving the loft space; however these are all secondary windows, serving the lounge and dining room at ground floor level; two bedrooms at the first floor and a games room in the loft space. The only window proposed in the new dwelling on the side elevation facing no.6 is for a ground floor wet room which could be conditioned to be obscure glazed and fixed shut below 1.8m. The proposal does not compromise the 45 degree line of sight from the first floor rear windows. However given the depth of the rear projection beyond the adjacent property, if all other aspects of this proposal were considered acceptable, a condition would be required to remove permitted development rights for further extensions, to ensure the preservation of the level of amenity to the neighbouring property.

To the south of the new dwelling the rear of the proposed dwelling is in line with the rear of the main dwelling of no. 2 and set back from the rear of the single storey side and rear extensions. It is set back 2.5m from the side wall of the single storey element (just 1.2m from the side boundary). It is noted there are windows on the side elevation of no. 2 facing the application site. The first floor windows are set back 9.35m from the proposed flank wall of the new dwelling; however the ground floor windows, although not significantly impacted by the proposed dwelling, now face a 1.8m high boundary fence set 1.1m away. However there is no indication that these windows serve habitable rooms. There is a garage to the front and there are additional windows to the rear. There are no proposed side windows facing no.2.

In order to protect privacy, the design of the dwelling should avoid creating significant opportunities for direct overlooking from any upper floor windows into the private garden, kitchen or any habitable room windows of the neighbouring properties. It is not considered that the proposed dwelling increases overlooking to that already experienced from the adjacent two storey buildings. The impact on the amenities of the neighbouring properties is therefore considered to be satisfactory.

As such it is not considered that the proposal is an un-neighbourly form of development and complies with the requirements of Policies BE20, BE21 & BE24 of the Hillingdon Local Plan Part 2 Saved Policies (November 2012).

7.09 Living conditions for future occupiers

On 25 March 2015, the Government introduced new technical housing standards in England, which comprise of new additional 'optional' Building Regulations on water and access, and a nationally described space standard (referred to as "the new national technical standards"). These new standards came into effect on 1 October 2015. The Mayor of London intends to adopt the new national technical standards through a minor alteration to The London Plan. This alteration is in the form of the Housing Standards Policy Transition Statement and it sets out how the existing policies relating to Housing Standards in The London Plan should be applied from October 2015. Appendix 1 of the Transition Statement sets out how the standards stemming from the policy specified in the 2012 Housing SPG should be interpreted in relation to the national standards.

The London Plan Transition Statement sets out the minimum internal floor spaces required for developments in order to ensure that there is an adequate level of amenity for existing and future occupants. The propose dwelling has floor are of 144.5sqm in excess of the minimum requirements and therefore is considered acceptable. All bedrooms exceed the minimum area requirements.

It is considered that all the proposed habitable rooms, would have an adequate outlook and source of natural light, and therefore comply with the SPD: New Residential Layouts: Section 4.9.

The proposal provides 105sqm of usable private amenity space in excess of the Council's adopted standard. The proposal therefore complies with policy BE23 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). Concern has been raised regarding the loss of a rear garden for no. 2 as a result of this proposal. However this property has a large fully enclosed side garden to the south of the property providing in excess of 350sqm of usable private amenity space. If the scheme had been found acceptable a condition would be recommended to secure the maintenance of the landscaping, or other suitable means of

boundary treatment, along the frontage with the public footpath to ensure the garden area for number 2 remains private.

Concern has been raised that the proposal identifies 2 study rooms which should be considered as additional bedrooms. Only one has sufficient space to be considered as a single bedroom and given the scale of proposal, would still meet the above requirements for a four bedroom property.

7.10 Traffic impact, car/cycle parking, pedestrian safety

Policy AM7 of the Hillingdon Local Plan: Part Two - Saved Unitary Development Plan Policies (November 2012) considers whether the traffic generated by the proposed development is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety.

Policy AM14 states that new development will only be permitted where it is in accordance with the Council's adopted Car Parking Standards. These require a provision of 2 spaces per dwelling.

The proposed dwelling is served by an integral garage with a further space to the front. The Highway Officer has raised no objection in principle to the proposed access alterations to and from the public highway. However he has advised that minor changes would be required to slightly reduce the width of the crossover to an acceptable standard. Therefore subject to a slight revision of these plans, the proposal would be acceptable. A refusal on highway grounds is not recommended and could not be substantiated on appeal, as this matter can be controlled by planning condition, in the event that permission is granted.

7.11 Urban design, access and security

Secured by Design is now covered by Part Q of the Building Regulations.

The proposed garden area to number 2 would sit alongside the public footpath. If the scheme had been found acceptable a condition to secure suitable boundary treatment along this frontage would be recommended.

7.12 Disabled access

The Access Officer has not raised any objections to the proposal. If the scheme had been found acceptable a condition would be recommended to secure the development was built to M4(2) in accordance with Policy 3.8 c of the London Plan.

7.13 Provision of affordable & special needs housing

Not applicable to this application

7.14 Trees, Landscaping and Ecology

Although the site is covered by TPO 99, no protected trees remain on the site and there are none which merit a protection order. The plans indicate the retention of the north boundary hedge and the retention or replacement of the front boundary hedge with a new site entrance at the southern end of the boundary. The site layout provides space and opportunity to provide appropriate amenity space and an attractively landscaped site, which could compliment the landscape character of the area. The landscape officer has raised no objections to the proposal subject to the submission of an appropriate landscape scheme, which could be conditioned if all other aspects of the proposal were acceptable.

7.15 Sustainable waste management

Not applicable to this application

7.16 Renewable energy / Sustainability

Not applicable to this application

7.17 Flooding or Drainage Issues

Not applicable to this application

7.18 Noise or Air Quality Issues

Not applicable to this application

7.19 Comments on Public Consultations

The issues raised have been addressed appropriately in the report.

7.20 Planning Obligations

The proposal would not necessitate the provision of planning obligations, however based on the information before officers at this stage it would be liable for payments under the Community Infrastructure Levy.

7.21 Expediency of enforcement action

Not Applicable.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning

applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states that development will not be permitted if the layout and appearance fail to harmonise with the existing street scene, and BE19 states the LPA will seek to ensure that new development within residential areas compliments or improves the amenity and the character of the area.

The proposed dwelling is not acceptable in design terms and would result in a bulky and incongruous addition to the street scene to the detriment of the Area of Special Local Character.

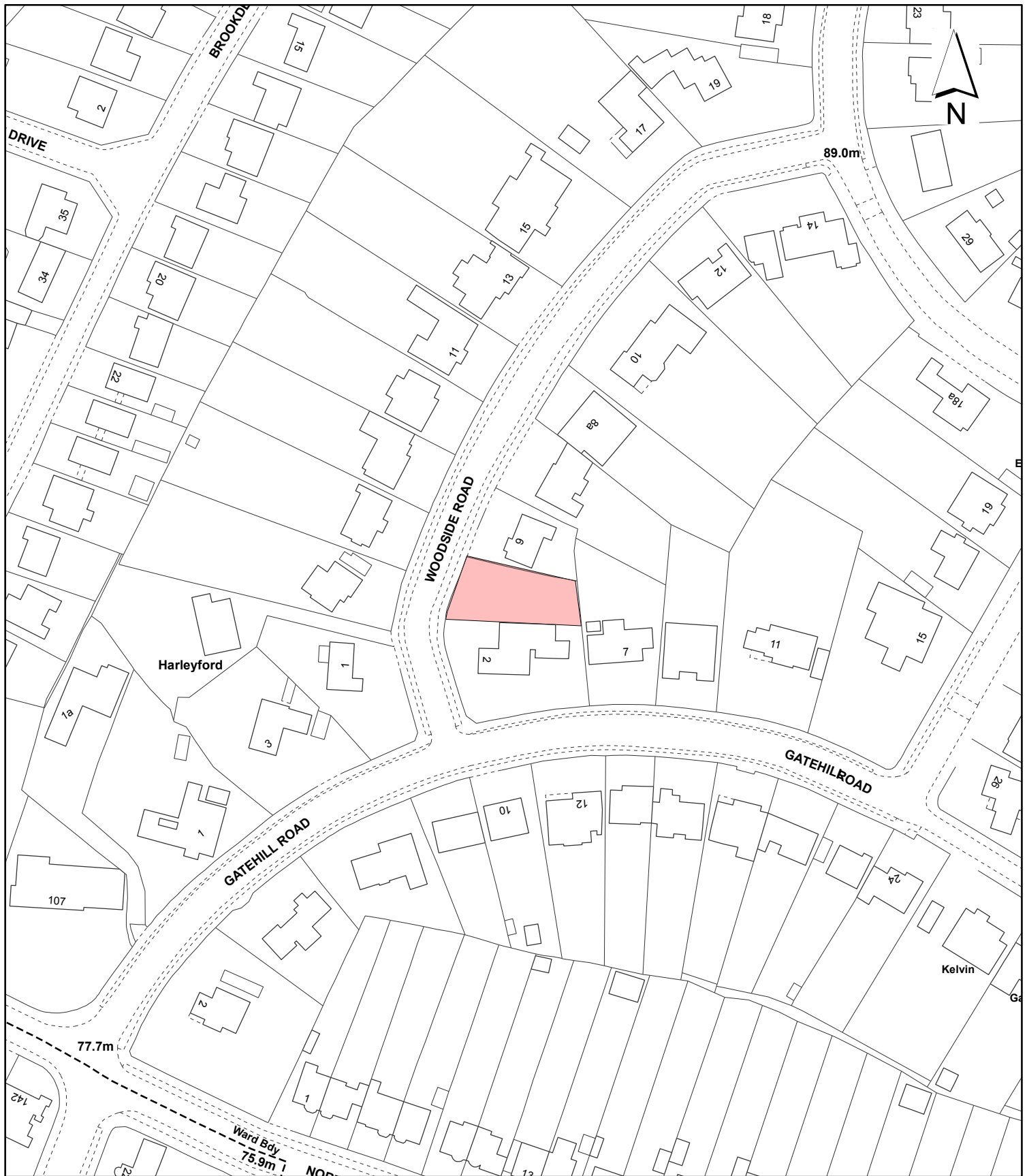
The proposal fails to comply with with policies BE5, BE6, BE13, BE19, BE20 and BE21 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and is therefore recommended for refusal.

11. Reference Documents

Hillingdon Local Plan Part 1 - Strategic Policies (November 2012)
Hillingdon Local Plan Part 2
The London Plan (2015)
Supplementary Planning Document 'Accessible Hillingdon'
National Planning Policy Framework

Contact Officer: Liz Arnold

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**Land Between
 2 & 6 Woodside Road**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
70377/APP/2015/3826

Scale:
1:1,250

Planning Committee:
North Page 28

Date:
January 2016



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address PAUL STRICKLAND SCANNER CENTRE, MOUNT VERNON HOSPITAL
RICKMANSWORTH ROAD NORTHWOOD

Development: Installation of temporary two storey portakabin building to be used as office accommodation

LBH Ref Nos: 3807/APP/2015/4220

Drawing Nos: Design and Access Statement
271115
TSLP220120073 Rev 3
Supporting Photo

Date Plans Received: 16/11/2015 **Date(s) of Amendment(s):**

Date Application Valid: 07/12/2015

1. **SUMMARY**

The application site relates to the Paul Strickland Scanner Centre, an independent medical charity providing a specialised cancer centre based at Mount Vernon Hospital. The site is currently an un-used grass area set between existing buildings. The temporary Portakabin is to be used as decant office space whilst the existing centre undergoes a large refurbishment project.

The building would not be easily seen from the street and would be unobtrusive within the rear of the site.

As the building is a temporary structure it is considered appropriate to grant a three year temporary permission.

2. **RECOMMENDATION**

APPROVAL subject to the following:

1 NONSC **Non Standard Condition**

The temporary building provided in accordance with this permission shall be removed by 9 February 2019, and the land shall be restored to its condition before the development took place, or to any other condition as may be agreed in writing with the Local Planning Authority.

REASON

To ensure that the temporary building is removed in order to protect the character and appearance of the area and the Green Belt in accordance with Policies BE13, OE1 and OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

2 COM4 **Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, number 271115 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2015).

3 NONSC Non Standard Condition

The re-landscaping/restoration of this land shall be carried out before the end of the current or first available planting season following practical completion of the removal of the temporary portacabin hereby permitted or in accordance with a timetable agreed in writing with the Local Planning Authority. Any landscaping which fails or becomes, in the opinion of the Local Planning Authority, seriously damaged or defective within five years of planting shall be replaced as originally required.

Reason: To protect the character and appearance of the area and the Green Belt in accordance with Policies BE13, OE1 and OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

INFORMATIVES

1 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2015). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

2 I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3. CONSIDERATIONS

3.1 Site and Locality

Mount Vernon Hospital is located between Rickmansworth Road to the east and White Hill to the west and comprises a series of medical buildings. This application relates to a grassed courtyard area, within the hospital complex surrounded on three sides by existing two storey buildings and opposite the Paul Strickland Scanner Centre. The hospital complex comprises some listed buildings however none of the surrounding buildings are listed.

The application site lies within the Green Belt as identified in the Hillingdon Local Plan: Part One - Strategic Policies (November 2012).

3.2 Proposed Scheme

This application seeks temporary planning consent for the installation of a portakabin to be used as a decant office accommodation during a refurbishment of the existing centre, to enable re-modelling to provide a better waiting facility. It is intended to be used for office staff for the duration of 156 weeks (3 years). The portakabin measures 12.4m deep by 4.2m wide and 5.95m in height.

3.3 Relevant Planning History

Comment on Relevant Planning History

There are a large number of previous applications relating to the hospital complex; however none are relevant to this proposal.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM7 Consideration of traffic generated by proposed developments.

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE22 Residential extensions/buildings of two or more storeys.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

OL1 Green Belt - acceptable open land uses and restrictions on new development

OL4 Green Belt - replacement or extension of buildings

LPP 7.16 (2015) Green Belt

- LPP 7.4 (2015) Local character
NPPF9 NPPF - Protecting Green Belt land
LDF-AH Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010

5. Advertisement and Site Notice

- 5.1** Advertisement Expiry Date:- Not applicable
5.2 Site Notice Expiry Date:- **8th January 2016**

6. Consultations

External Consultees

Northwood Residents Association - No response

There are no immediate neighbouring properties to consult.

Internal Consultees

Environmental Protection Unit - No objection

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The proposed development is for temporary portakabin within the Mount Vernon Hospital campus, which is located within the Green Belt and is not identified as a Major Developed Site in Policy OL1 of adopted Hillingdon Local Plan (November 2012). The National Planning Policy Framework states that the essential characteristics of Green Belts are their openness and their permanence. Therefore, the provision of new buildings in the Green Belt is inappropriate except in very special circumstances.

The temporary nature of the proposal, which is necessary to allow for the improvement of the existing service, is given significant weight in the terms of very special circumstances (VSCs). In addition it is noted that the proposed temporary development is relatively small in scale in the context of the wider site. Given the backdrop of the structure against a number of other buildings within an enclosed site, it is not considered the proposal would significantly increase of the built up appearance of the site or harm the visual amenity of the Green Belt. In light of the VSCs identified for this proposal, it is considered to accord with Policy OL4 of the Hillingdon Local Plan and the National Planning Policy Framework.

7.02 Density of the proposed development

This is not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

This is not applicable to this application.

7.04 Airport safeguarding

This is not applicable to this application.

7.05 Impact on the green belt

The proposal would involve installation of a temporary portakabin within an established hospital campus. The proposed structure will be set within existing buildings and will not be visible from outside of the site and the wider Green Belt. Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks to ensure that any development is not disproportionate, does not injure the visual amenities of the Greenbelt

and does not create a 'built-up appearance'. Therefore the proposal is considered acceptable.

7.07 Impact on the character & appearance of the area

The proposed development is a standard temporary portakabin structure, which measures 12.4m long by 4.2m wide and 5.9m high, which is constructed of white plastisol coated galvanised steel cladding. Given the nature and location of the proposed development, the proposal will not harm the character and appearance of the surrounding area in accordance with policies BE13 and BE19 of the adopted Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

7.08 Impact on neighbours

Policies BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seek to safeguard neighbouring residential amenity from inappropriate development. The proposed structure is centrally located within the hospital complex and is situated approximately 230m from the nearest residential properties. The site is screened by existing buildings on all four sides, therefore it is not considered there would be any impact on the nearest residential properties.

7.09 Living conditions for future occupiers

This is not applicable to this application.

7.10 Traffic impact, car/cycle parking, pedestrian safety

This is not applicable to this application.

7.11 Urban design, access and security

This is not applicable to this application.

7.12 Disabled access

This is not applicable to this application.

7.13 Provision of affordable & special needs housing

This is not applicable to this application.

7.14 Trees, Landscaping and Ecology

This is an existing grassed area of open space between existing buildings. There is no additional landscaping of any merit and the proposal can be conditioned to have the grass restored once the building is removed.

7.15 Sustainable waste management

This is not applicable to this application.

7.16 Renewable energy / Sustainability

This is not applicable to this application.

7.17 Flooding or Drainage Issues

This is not applicable to this application.

7.18 Noise or Air Quality Issues

This is not applicable to this application.

7.19 Comments on Public Consultations

None

7.21 Expediency of enforcement action

This is not applicable to this application.

7.22 Other Issues

There are no other relevant issues.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

10. CONCLUSION

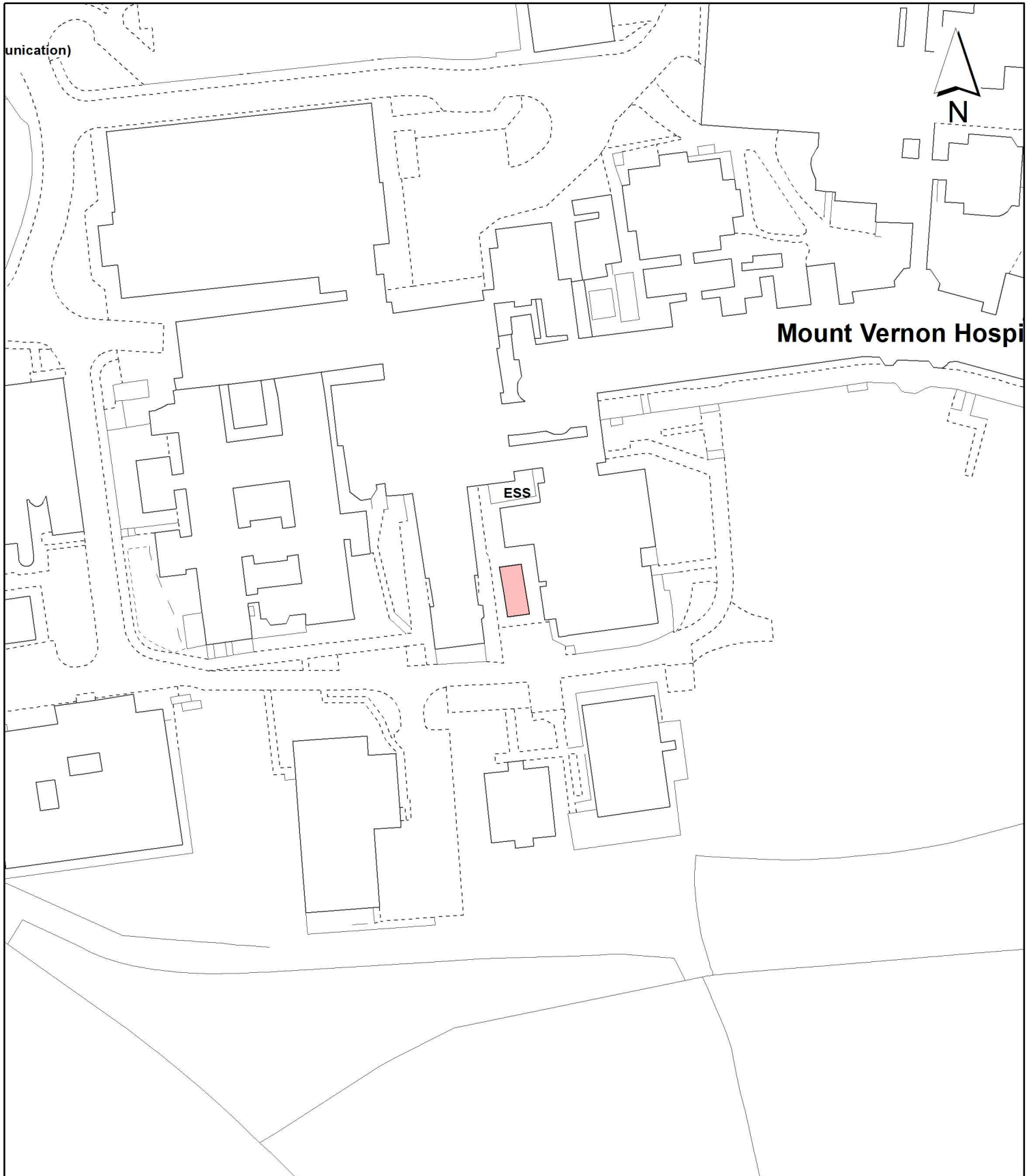
For the reasons outlined above and given that the development complies with the aforementioned policies of the adopted Hillingdon Unitary Development Plan (Saved Policies November 2012), this application is recommended for approval.

11. Reference Documents


Hillingdon Local Plan Part 1 - Strategic Policies (November 2012).
Hillingdon Local Plan Part 2
The London Plan (2015)
Supplementary Planning Document 'Accessible Hillingdon'.
National Planning Policy Framework

Contact Officer: Liz Arnold

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address: PAUL STRICKLAND SCANNER CENTRE, MOUNT VERNON HOSPITAL RICKMANSWORTH ROAD NORTHWOOD	
Planning Application Ref: 3807/APP/2015/4220	Scale: 1:1,000
Planning Committee: North	Date: February 2016

**LONDON BOROUGH
OF HILLINGDON**
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address 23 JOEL STREET NORTHWOOD

Development: Change of use from retail (Use Class A1) to a mixed use comprising bespoke bridal wear service, bridal make over service and retailing of related beauty and skin care products (Use Class A1/Sui Generis) involving single storey infill extension to front and new shop front

LBH Ref Nos: 8488/APP/2015/3905

Drawing Nos: Location Plan
Block Plan
15/23TB/01
Design and Access Statemen
15/23TB/02

Date Plans Received: 21/10/2015 **Date(s) of Amendment(s):**

Date Application Valid: 13/11/2015

1. **SUMMARY**

This application seeks planning permission for the change of use of the subject property from Use Class A1 (Retail) to mixed use Use Class A1/Sui Generis for use as bespoke bridal wear service, a bridal make over service and the retailing of related beauty and skin care products. The proposal also involves the installation of a new shopfront, which would incorporate the infilling of the existing recessed front entrance to set it flush with the front building line of the property.

The application is being referred to the Planning Committee because it incorporates the partial loss of the established lawful A1 retail space in the application property.

The site is situated in a terraced shopping parade (The Broadway) on the eastern side of Joel Street and is located within the Secondary Shopping Area of the Northwood Hills Town Centre (as identified in the Hillingdon Local Plan: Part One - Strategic Policies, November 2012). The proposal would provide a valuable community facility and service use within a highly accessible environment without compromising the viability or vitality of the town centre. The overall design of the new shopfront is considered to be in keeping with the character of the town centre location and the wider area.

This application does not seek consent for the display of any related advertisements or signage, which would have to be considered under any separate future application.

Accordingly, the application is recommended for approval.

2. **RECOMMENDATION**

APPROVAL subject to the following:

1 COM3 **Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plan, number 15/23TB/02, and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2015).

3 COM21 Sound insulation /mitigation

The development shall not begin until a scheme for the control of noise transmission to the adjoining dwellings (1st floor residential property) has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include such combination of sound insulation and other measures as may be approved by the LPA. Thereafter, the scheme shall be implemented and maintained in full compliance with the approved measures.

REASON: To safeguard the amenity of the occupants of surrounding properties in accordance with policy OE1 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

4 HH-M1 Details / Samples to be Submitted

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces of the shopfront have been submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007)

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (2015) and national guidance.

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15	Alterations and extensions to existing buildings
BE26	Town centres - design, layout and landscaping of new buildings
BE28	Shop fronts - design and materials
DAS-SF	Shopfronts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
S6	Change of use of shops - safeguarding the amenities of shopping areas
S12	Service uses in Secondary Shopping Areas
NPPF	National Planning Policy Framework

3 159 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2015). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 147 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 15 Party Walls

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Residents Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

6

The applicant is hereby advised that this permission does not authorise the display of advertisements or signs, separate consent for which may be required under the Town and Country Planning (Control of Advertisements) Regulations 1992 [To display an advertisement without the necessary consent is an offence that can lead to prosecution]. For further information and advice, contact - Residents Services, 3N/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250574).

7 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk) to seek prior approval under Section 61 of the Control of Pollution Act 1974 if you anticipate any difficulty in carrying out the works other than within the normal working hours set out above, and by means that would minimise disturbance to adjoining premises. For further information and advice, contact the Environmental Protection Unit, 3S/02 Civic Centre, High Street, Uxbridge, Middlesex UB8 1UW (tel. 01895 250155).

8

The applicant is advised that any change of use of this premises will require planning permission.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the eastern side of Joel Street, Northwood and comprises a ground floor property in a three storey mid-terraced building. The host building is sited within a terraced shopping parade addressed as 'The Broadway'.

The application property is presently vacant, and its last known established use (as at September 2014) was a Use Class A1 Retail unit (Allen Brothers), which incorporated the sale and alterations of men suits. The Broadway has ground floor commercial uses and office/residential uses on the upper floors. The upper floors in the host terrace are accessed

from the rear via external staircases. The Broadway lies within the Secondary Shopping Area of the Northwood Hills Town Centre as identified in the Hillingdon Local Plan: Part One - Strategic Policies (November 2012).

The adjoining units to the north and south at Nos. 21 and 25 are a Photography Studio and Takeaway (KFC) respectively. There are 'Pay and Display' parking bays directly in front of the application property and host terrace. Further to the south is the Northwood Hills Underground Station.

3.2 Proposed Scheme

This application seeks permission for the change of use of the property from Use Class A1 (Retail) to mixed use Use Class A1/Sui Generis for use as bespoke bridal wear service, a bridal make over service and the retailing of related beauty and skin care products. The proposal would also involve a new shopfront and infilling of the existing recessed front entrance to set it flush with the front building line.

The applicant has submitted that the approximate space usage will be 20% for the bridal wear element, 15% for the retail of beauty products and 65% for the beauty make over element. The applicant has submitted that whilst the bespoke bridal service caters for a niche clientele, they would also be taking on passing trade in the locality. The internal layout would be configured to provide two therapy rooms, a consultation room, a nail bar station, office and two toilets (including one for disabled use).

3.3 Relevant Planning History

Comment on Relevant Planning History

There are no known planning records for the site.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE26 Town centres - design, layout and landscaping of new buildings

BE28 Shop fronts - design and materials

DAS-SF Shopfronts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006

OE1 Protection of the character and amenities of surrounding properties and the local area

OE3 Buildings or uses likely to cause noise annoyance - mitigation measures

- S6 Change of use of shops - safeguarding the amenities of shopping areas
S12 Service uses in Secondary Shopping Areas
NPPF National Planning Policy Framework

5. Advertisement and Site Notice

- 5.1 Advertisement Expiry Date:- Not applicable
5.2 Site Notice Expiry Date:- **17th December 2015**

6. Consultations

External Consultees

14 neighbouring properties (21, 23, 25, 34, 34A & 34B The Broadway, 36, 38, 39, 40, 41, 42 & 43 Oakdale Avenue and 56 Briarwood Drive) and the Northwood Hills Residents Association were consulted by letter on 17/11/2015 (first round of consultation) and 23/11/2015 (second round of consultation). A site notice was displayed in the area on 26/11/2015.

No responses were received.

Internal Consultees

Highways Officer:

There are no highway objections to these proposals.

Environmental Protection Unit (EPU) Officer:

No objection to the proposed change of use and infill extension to front + new shop front. An informative has been requested relating to the control of environmental nuisance from construction work.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy S6 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) specifies that changes of use applications will be granted where i) a frontage of design appropriate to the surrounding area is maintained or provided; ii) the use would be compatible with neighbouring uses and will not cause unacceptable loss of amenity to nearby residential properties; and iii) would have no harmful effect on road safety or worsen traffic congestion.

Policy S12 of the Local Plan specifies that in Secondary Shopping Areas, applications will be granted where i) the remaining retail facilities are adequate to accord with the character and function of the shopping centre and ii) the proposed use will not result in a separation of Class A1 uses or a concentration of non retail uses, which might harm the viability or vitality of the centre.

Even though the proposed use would result in a loss of an existing lawful A1 retail unit, it would incorporate the retention of a retail element that is complementary to the larger Sui Generis element. Even though there is a presumption against Sui Generis uses as acceptable community service uses, the proposed beauty make over element is such that it would complement the related bridal service and retailing of health/beauty products, and

constitute a use that would be viable in ensuring the maintenance of the vitality of the town centre. Therefore the proposed conversion of the retail unit to a mixed Use Class A1/Sui Generis in a secondary shopping area will not conflict with the objectives of Policies S6 and S12, given that there would be no total loss of a Use Class A1 retail unit. It is considered that the proposed mixed use is an appropriate service, which would provide a substantial element of its services to visiting members of the public. It is also considered that the proposed mixed use would be appropriate to the retail function and the role of the secondary shopping area of the Town Centre. It would therefore be of economic benefit to the Town Centre and ensure its continued vitality.

Even though the proposal would not result in the total loss of a retail unit, it is instructive to note that the Council's most recent town centre survey indicates that the predominant use in the shopping frontage of the secondary shopping area of Northwood Hills Town Centre is still Use Class A1 retail.

Given the above considerations, the proposal would therefore comply with the criteria listed in Policies S6 and S12 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), and is acceptable in principle.

7.02 Density of the proposed development

Not applicable as this application proposal does not constitute a residential development.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable as the application property is not statutorily listed, and the site is not situated within any Archaeological Priority Area, Conservation Area or Area of Special Local Character.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable as the application site is not situated within or adjacent to the Green Belt.

7.07 Impact on the character & appearance of the area

Policy BE28 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) requires the design and materials of shopfronts to harmonise with the architectural composition of individual buildings and/or improve the character of the area.

The Council's adopted Supplementary Planning Document, the Hillingdon Design and Accessibility Statement (HDAS) Shopfronts (July 2006) considers the effects on the character and distinctiveness and materials. The design, materials and appearance of shopfronts are critical to establishing the character of an area.

The proposed new shopfront would incorporate a glazed exterior set within anodized aluminium framing. The applicant has not specified a colour for the aluminium frames, the glazed composition and aluminium materials for the new shopfront and a condition to secure these details is therefore proposed to be imposed in the event planning permission is granted. The overall design of the new shopfront is considered to be in keeping with the character of the streetscene and the wider area. It would maintain an attractive facade and ensure the continued functioning of the retail core of the town centre.

An informative will be added to this decision to inform the applicant that any approval does not confer consent for the advertisement/signage shown on the proposed elevations plan, and that consent for the display of any related advertisements or signage would have to be

considered under any separate future application.

Subject to the above, it considered that the proposal is in compliance with Policies BE26 and BE28 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the adopted Supplementary Planning Document, the Hillingdon Design and Accessibility Statement (HDAS): Shopfronts (July 2006).

7.08 Impact on neighbours

Even though the proposed shopfront entrance door would account for an increase in internal floor area of 3 sq.m from the recessed entrance, the proposed change of use would not result in any overall increase of the internal floor space/footprint area of the property.

In order to protect the residential occupants above from noise generation, a condition to secure such details is recommended to protect residential amenity of the occupiers at first floor level. The EPU Officer has not raised any objection to the proposed hours of opening, which are: 0930 to 1900 hours Monday to Friday, 1000 to 1600 hours Saturday and 1000 to 1600 hours Sunday and Bank Holidays, and given the imposition of a noise insulation condition, it is not considered necessary to impose a restrictive condition on the hours of operation. Given the nature of the use and its location within the busy Northwood Hills Town Centre, non-imposition of such a condition would be beneficial in terms of flexibility and ensuring a viable and vibrant Town Centre. As such, it is considered that the use and scale of the proposed mixed use are such that it would not result in any adverse noise nuisance to neighbouring properties, particularly those on the upper floors.

It is considered that there would be no impact on any adjoining upper floor residents as a result of the siting of the new shopfront.

The proposal is therefore considered to have no material impact on the residential amenity of the adjoining upper floor neighbouring occupants and other neighbouring occupants, in compliance with Policies OE1 and OE3 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.09 Living conditions for future occupiers

Not applicable as this application proposal does not constitute a residential development.

7.10 Traffic impact, car/cycle parking, pedestrian safety

The proposed mixed use on the site would result in the employment of four full-time employees and three part time employees.

The proposal does not make provision for car parking for either staff or visitors. Even though the immediate locality of the site has a relatively low Public Transport Accessibility Level (PTAL) score of 2, the site is close to public transport facilities including the Northwood Hills Underground Station to the south, which is within walking distance.

The Highways Officer has expressed no objection to the proposal, and the applicants submit that the employees would use public transport to travel to the site given limited parking availability on that section of the highway, and that the use would take up passing trade in the local area, in addition to an established niche clientele.

Given the above considerations, the proposed mixed use would be ancillary to the local area, and the absence of off-street car parking availability would not have a detrimental impact along the adjacent highway network.

7.11 Urban design, access and security

It has been considered that the proposed development, in respect of the new shopfront, would result in the provision of a high quality of design, which would preserve the appearance of the town centre and wider area.

This is a highly accessible location and there are no issues relating to security, given that the existing access to the front/street elevation would be maintained and provide a high degree of surveillance.

7.12 Disabled access

The applicant has detailed on the proposed plans that the new shopfront entrance would have a level access and be sufficiently wide to enable inclusive access for wheelchair users into the property.

The proposal would therefore comply with Policy R16 of the Hillingdon Local Plan (November 2012) and Policy 7.2 of the London Plan (2015).

7.13 Provision of affordable & special needs housing

Not applicable as this application proposal does not constitute a residential development.

7.14 Trees, Landscaping and Ecology

Not applicable as the application site does not contain any trees and soft landscaping of amenity and/or ecological value and merit.

7.15 Sustainable waste management

In terms of waste generation and storage, the scale and nature of the proposed use are such that any waste generated would not be significantly more than that related to a Use Class A1 retail use, which is the existing lawful use on the site.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

The application is not situated within any flood zone and the scale and nature of the proposed development are such that it would not result in the generation of any localised flooding on the site.

7.18 Noise or Air Quality Issues

There are no adverse noise or air quality issues to address as part of this application proposal. The EPU Officer has raised no objection to the proposal in this regard.

7.19 Comments on Public Consultations

No responses were received from the notified external consultees.

7.20 Planning Obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance

with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

The application proposal has satisfactorily demonstrated that it would provide a valuable

community facility and service use within a highly accessible environment without compromising the viability or vitality of the Secondary Shopping Area of the Northwood Hills Town Centre.

The overall design of the proposed associated new shopfront has been considered to be in keeping with the character of the town centre location and the wider area, compliant with the design objectives of the Council's Local Plan: Part One - Strategic Policies (November 2012), the Local Plan: Part Two - Saved UDP Policies (November 2012) and the adopted Hillingdon Design and Accessibility Statement (HDAS) Shopfronts (July 2006).

11. Reference Documents

National Planning Policy Framework

The London Plan (March 2015)

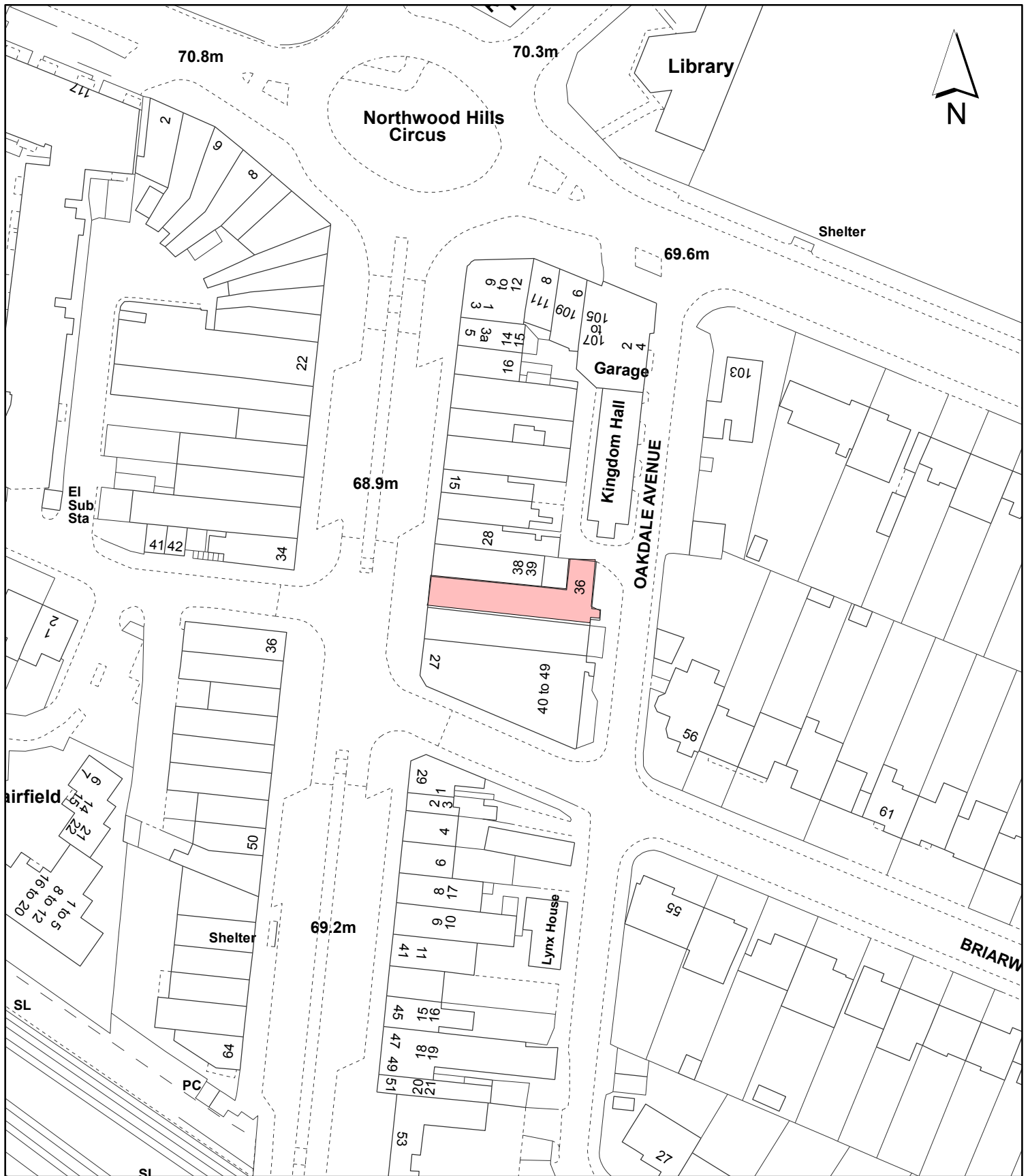
Hillingdon Local Plan: Part One - Strategic Policies (November 2012)

Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)

Hillingdon Design and Accessibility Statement (HDAS) Shopfronts (July 2006)

Contact Officer: Victor Unuigbo

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**23 Joel Street
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

8488/APP/2015/3905

Scale:

1:1,000

Planning Committee:

North Page 48

Date:

February 2016



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address	THE ORCHARD ICKENHAM ROAD RUISLIP		
Development:	Installation of 3 x externally illuminated fascia signs, 4 x externally illuminated stand alone signs and 1 x internally illuminated menu light box		
LBH Ref Nos:	62963/ADV/2015/65		
Drawing Nos:	Block Plan The Orchard - Beefeater Magpie Re Brand Pages 1-10 incorporating details of Signs A, B, C, D, E, G and R1 and R2 dated 19th October 2015 SMLPROMO-2 REV B (4 pages) Location Plan		
Date Plans Received:	21/08/2015	Date(s) of Amendment(s):	19/10/2015
Date Application Valid:	01/09/2015		27/08/2015 21/08/2015

1. CONSIDERATIONS

1.1 Site and Locality

The application site is located between Sharps Lane and Ickenham Road, on the north side of where these two roads meet. The site comprises an established Public House and a hotel, with associated garden areas and surface level parking. The site has mature landscaping on all boundaries and vehicular access is gained from the Ickenham Road frontage.

The site is within the Ruislip Village Conservation Area as identified in the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

1.2 Proposed Scheme

Advert consent is sought for the installation of 3 x externally illuminated fascia signs, 4 x externally illuminated stand alone signs and 1 x internally illuminated menu light box.

A: Replace existing flag sign panel with like for like 1500 x 2050mm panel. Existing support post to be finished in RAL 7016 Anthracite grey.

B: (As amended) 400mm Cap height house name letters, flat cut finished white and pinmounted individually on to timber backboard (4825 x 800mm). Sign scale to match existing as closely as possible. Sign illuminated by pelmet light.

C: 450mm Cap Beefeater letters in white with 1075 x 718mm brown cow with white outline sign written to the brickwork and illuminated by 2 no. cow lamps overhead.

D: 1500mm Directional sign with scaffold plank print to 800mm square panel with Beefeater cow and letters with arrow right.

E: 1700mm Directional sign with scaffold plank print to 800mm square panel with Beefeater cow and letters with arrow right.

G: Replace face panel to 440 x 675mm internally illuminated menu unit, mounted to a total height of 1800mm right of entrance.

2No. Vinyl cows applied facing each other on each set of entrance doors.

R1: Remove Beefeater fascia from first floor and not to be replaced.

R2: Beefeater directional sign to be removed and not replaced.

All other outdated brand signs and ancillary notices such as park disclaimers are to be removed from the site.

1.3 Relevant Planning History

62963/ADV/2010/26 The Orchard Ickenham Road Ruislip

Installation of 1 externally illuminated fascia sign, 1 non-illuminated carpark sign, 1 externally illuminated entrance sign, and 1 internally illuminated 'lollipop' sign.

Decision Date: 16-06-2010 SD

Appeal:

Comment on Planning History

62963/ADV/2010/26 - Installation of 1 externally illuminated fascia sign, 1 non-illuminated carpark sign, 1 externally illuminated entrance sign, and 1 internally illuminated 'lollipop' sign. Split decision.

Refusal was for:

The proposed lollipop sign (H1), by reason of its size, scale, height, design, and means of illumination together with the existing sign on this frontage would result in a cluttered, visually intrusive and incongruous feature, detrimental to the visual amenities of the street scene and the wider Ruislip Village Conservation Area contrary to policies BE4, BE27 and BE29 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- 2nd October 2015

3. Comments on Public Consultations

EXTERNAL:

21 letters were sent to local residents and The Residents Association on 2nd September 2015. Two objections have been received as detailed below.

- Glaring brightly illuminated signs at The Orchard (especially in a conservation area) would be detrimental, not only aesthetically, but annoying for nearby residents.

- The recent alterations to the nearby White Bear Brasserie have tremendously improved the

area, but if The Orchard were allowed to install neon lights it would be a backward step. We feel the signs would be completely out of character with the surrounding area and quite disturbing. The Orchard is a traditional building with period features and we are surprised that an application for neon lights has even been considered in a conservation area. It would be advisable that the recommendations of a Conservation Officer be sought.

- The removal of the prominent sign 'The Orchard' from the front aspect of the building to be replaced with a large sign 'Beefeater' in its place (Sign B on plans) would greatly detract from the historical significance of the building. An 'Orchard' sign has been present in this place since the early 20th century when it used to be the Orchard Hotel.

- The plans submitted wish to relocate the Orchard sign to a less prominent position and to make the sign much smaller. Such a move, I think is particularly insensitive during the 75th anniversary of the Battle of Britain given that the Orchard has strong connections with RAF Northolt and Polish Airmen during the Second World War and there is a monument in the grounds of the Orchard recognising this. Apart from the above objection, I am not against any of the other existing signs being changed as detailed in the plans in line with the company's rebranding.

Ward Councillor has requested this application be called into committee if approval is recommended.

Ruislip Village Conservation Panel:

The site lies within the Ruislip Village Conservation Area. The name of this cafe, restaurant, hotel, has always contained the word Orchard ever since the then simple single-storey structure opened to the public at Easter 1905. As a restaurant it was famed throughout the Home Counties from 1933-71 and much patronised by RAF men during the 2nd World War

The Conservation Panel notes that there was great public concern and agitation last time the name was practically eradicated and much praise for the owners when it was reinstated.

We seem to have come full circle with another attempt to 'lose' the attractive name.

Owners of property within a Conservation Area have a duty to ensure that any alteration made to a building within it, should enhance and compliment the area. This duty includes conserving historic elements, which increase the attractiveness of and add interest to the place.

For these reasons, the Conservation Panel is opposed to the proposed signage mentioned in the above application.

Ruislip Residents Association:

We are writing to oppose this planning application as we consider that the proposed changes to the existing signage represent a backward step in terms of tradition and local history. The Orchard name has been central to this restaurant's ambience for over 100 years and is deservedly seen as a local landmark coupled with its famous links with RAF personnel in the second world war.

The site is situated in the Ruislip Village Conservation Area where the intent is to preserve all that enhances and complements the vicinity, which is not considered to be the case with the proposed changes.

INTERNAL:

Conservation and Urban Design:

The Orchard is an Edwardian and later public house/restaurant which has recently been extended to create a small hotel. The building is prominently located in the Ruislip Village Conservation Area and opposite the listed 'White Bear PH'. It is a much loved local landmark, known by all, for many decades as 'The Orchard', despite its many changes in ownership and signage.

Recently, one such change in signage resulted in enforcement intervention to restore 'The Orchard' lettering to the gable end, and replaced the more obtrusive signs with signs more befitting this sensitive conservation area location.

Whilst the requirement for advertising to catch the eye of passing motorists is understood, there needs to be a balance between advertising and the sensitivity of the area. The following signs are considered acceptable: A, C, D, E, F, G and the removal of R1 and R2.

Officer Comments: The conservation Officer has therefore objected to signs B and H. sign H has been deleted from the plans and is no longer under consideration. Sign B was the most contentious sign and involved removing the prominent 'The Orchard' sign. This scheme has been revised and although a new sign is proposed, it retains the text 'The Orchard', thus ensuring a historical link to the buildings past is retained.

Highway comments:

There are no highway objections to the proposals.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

BE4 New development within or on the fringes of conservation areas

BE27 Advertisements requiring express consent - size, design and location

BE29 Advertisement displays on business premises

5. MAIN PLANNING ISSUES

When assessing advertisement applications, the local planning authority is only able to consider two matters, these are the impact on amenity and public safety, and any other relevant factors. Unless the nature of the advertisement is in itself harmful to amenity or

public safety, there is a presumption in favour of granting advertisement consent.

The initial proposal detailed the replacement of 'The Orchard' lettering in the gable end with the Beefeater sign and the boarding over of the gable. This was the focus of the objections received from the Ruislip Village Conservation Panel and the Ruislip Residents Association. It should be noted that when this lettering was removed previously, there was considerable local opposition to the proposal and the lettering was then reinstated.

In light of these concerns the applicant has amended the proposals and Sign B now proposes lettering detailing the name 'The Orchard'. This change has overcome the Conservation Officer's previous objection and therefore this element of the proposal is now considered to be acceptable.

The previously proposed Sign H, an illuminated display panel standing 2.25m height by the roadside, has been deleted from the proposal.

Signs A, D and E represents the replacement of existing signs in the same locations. Whilst they are adjacent to the roadway, it would not have any increased visual or highways impact.

Sign C would sit on the elevation at ground floor level. Whilst prominent from the roadway it is not unduly large and its illumination is limited to 2 cowl lamps positioned above. It is therefore not considered to represent any undue impact on visual amenity.

Sign G would sit on the elevation replacing the existing menu box and would not create a detrimental impact on visual amenity.

No objection is made to the removal of signs R1 and R2 which would help reduce visual clutter.

It is considered the proposal would accord with policies BE4, BE27 and BE29 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

6. RECOMMENDATION

APPROVAL subject to the following:

1 ADVERT1 Standard Condition

All advertisement consents carry the following 5 standard conditions as contained in the Town and Country Planning (Control of Advertisements) Regulations 1992 and unless specified to the contrary the consent expires after 5 years.

i) No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the site entitled to grant permission.

ii) No advertisement shall be sited or displayed so as to:-

(a) Endanger persons using any highway, railway, waterway, dock, harbour or aerodrome (civil or military);

(b) Obscure, or hinder the ready interpretation of, any traffic sign, railway signal or aid to navigation by water or air or;

(c) Hinder the operation of any device used for the purpose of security or surveillance or for measuring the speed of any vehicle.

iii) Any advertisement displayed, and any site used for the display of advertisements, shall be maintained in a condition that does not impair the visual amenity of the site.

iv) Any structure or hoarding erected or used principally for the purpose of displaying advertisements shall be maintained in a condition that does not endanger the public.

v) Where an advertisement is required under these Regulations to be removed, the site shall be left in a condition that does not endanger the public or impair visual amenity.

vi) The consent hereby granted shall expire at the end of a period of five years from the date of this consent.

REASON

These requirements are deemed to be attached by Schedule 2 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.

2 ADV8 Removal of Existing Signs

Prior to the display of the advertisement(s) hereby approved, all other advertisements on the premises shall be removed.

REASON

In order to protect the visual amenity of the area and/or highway safety in accordance with Policy BE27 of the Hillingdon Local Plan: Part Two - UDP Saved Policies (November 2012).

INFORMATIVES

- 1** On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies. On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.
- 2** The decision to GRANT advertisement consent has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 3** The decision to GRANT advertisement consent has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved

Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

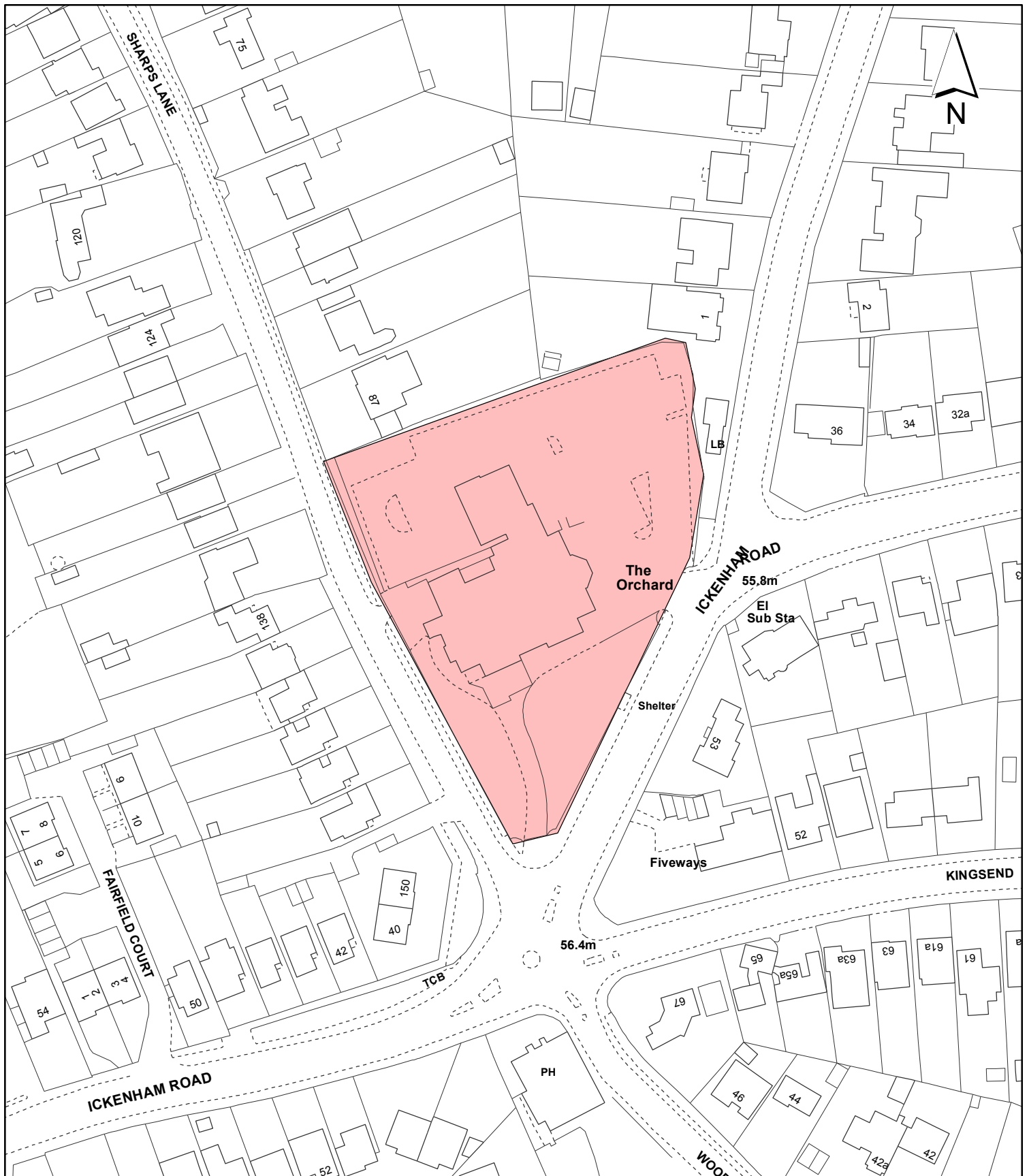
- BE4 New development within or on the fringes of conservation areas
- BE27 Advertisements requiring express consent - size, design and location
- BE29 Advertisement displays on business premises
- 4** The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Alex Chrusciak

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**The Orchard
Ickenham Road**

**LONDON BOROUGH
OF HILLINGDON**

**Residents Services
Planning Section**
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

62963/ADV/2015/65

Scale:

1:1,250

Planning Committee:

North Page 56

Date:

February 2016



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address WOODBINE COTTAGE TILE KILN LANE HAREFIELD
Development: Proposed replacement entrance gates from Tile Kiln Lane
LBH Ref Nos: 26852/APP/2015/3699
Drawing Nos: Heritage, Design and Access Statement (Revised January 2016)
Proposed Gates (Revised January 2016)
Location Plan
HARE1401 Site Survey

Date Plans Received: 06/10/2015 **Date(s) of Amendment(s):** 26/01/2016
Date Application Valid: 12/11/2015 05/10/2015

1. CONSIDERATIONS

1.1 Site and Locality

Woodbine Cottage is a Grade II Listed Building located on the northern side of Tile Kiln Lane and is located within the Green Belt. The application property is a large detached unit located in the south of the plot and accessed via two entrances from Tile Kiln Lane to the west and south of the main property.

1.2 Proposed Scheme

The proposal is for replacement entrance gates from Tile Kiln Lane. The proposed gates would be constructed from Iroko Hardwood timber and set between two 1.55m high piers constructed from red reclaimed bricks. The gates would be 3.3m wide with a height of 1.4m at either end and 1.2m in the middle. The gates would comprise of 0.66m high closed vertical boarding with open timber railing above.

The proposed gates are similar in design to the entrance gates to Crow's Nest Farmhouse on Breakspeare Road South (located 0.2m north of the application site).

1.3 Relevant Planning History

26852/APP/2014/3215 Woodbine Cottage Tile Kiln Lane Harefield

Retrospective planning permission for the erection of replacement entrance gates from Tile Kiln Lane

Decision Date: 18-11-2014 Refused **Appeal:**07-AUG-15 Dismissed

Comment on Planning History

The application site is currently the subject of an enforcement investigation regarding the erection of two detached outbuildings and an entrance gate and posts; an enforcement notice was served in September 2014. An appeal against the enforcement notice was dismissed in August 2015 and the enforcement notice was upheld (Planning Inspectorate ref: APP/R5510/C/14/3000107).

An application for retrospective planning permission (ref: 26852/APP/2014/3215) for the erection of replacement entrance gates from Tile Kiln Lane was submitted in September 2014. The applicant appealed against non-determination of the application in November 2014 (Planning Inspectorate ref: APP/R5510/A/14/3000447).

The application was refused in November 2014 as it was considered that the height and design of the replacement gates would detrimentally impact on the character, appearance and setting of the Grade II Listed Building (Woodbine Cottage) and the street scene, and detract from the openness of the surrounding Green Belt.

The appeal was dismissed in August 2015 as the Planning Inspector considered that the proposed replacement gates would have "an overbearing and alienating effect in what is otherwise a generally open laneway. That it significantly limits public views of the listed cottage and appears as an incongruous addition which fails to preserve the setting of the heritage asset adds to the harm". The Inspector also stated that satisfactory levels of security could be achieved without the erection of gates that would harm the character of the area and the setting of the heritage asset.

The current application seeks to regularise the unauthorised entrance gates which remain an outstanding enforcement issue following the removal of the two unauthorised detached outbuildings.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- 14th December 2015

3. Comments on Public Consultations

EXTERNAL

Consultation letters were sent to 3 local owners/occupiers and a site notice was displayed. The application was also advertised in the local press, which expired on the 16th December 2015.

No responses have been received.

Ruislip Residents Association:
No response has been received

Historic England:
On the basis of the information provided, we do not consider that it is necessary for this application to be notified to Historic England under the relevant statutory provisions.

INTERNAL

Conservation Officer:
The current proposals are an improvement on the existing gates, whilst their design is now generally acceptable, although still rather elaborate; they are nevertheless, still too tall. They need to be lowered in height and the brick piers either simplified i.e. without the stone capping and detailing, or the gates preferable hung from chunky timber posts similar to

those on the other access gate.

Revisions required. The gates should be no higher than 1.2m in the middle and 1.4m at either end. The brick piers should be no higher than 1.6m.

Officer comments:

Amended plans have now been received amending the gates and reducing the height in line with the Conservation officer's comments.

Highways:

Subject to the gates being located at the same distance from the highway as the previous ones and the gates opening inwards no objections are raised on highway grounds.

Officer comments:

The agent has confirmed that the replacement gates would open inwards and are to be located the same distance from the highway as the existing gates. A condition is recommended to ensure these details are secured in perpetuity.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains
- PT1.HE1 (2012) Heritage

Part 2 Policies:

- BE8 Planning applications for alteration or extension of listed buildings
- BE10 Proposals detrimental to the setting of a listed building
- BE13 New development must harmonise with the existing street scene.
- BE19 New development must improve or complement the character of the area.
- OL4 Green Belt - replacement or extension of buildings
- NPPF9 NPPF - Protecting Green Belt land
- NPPF12 NPPF - Conserving & enhancing the historic environment

5. MAIN PLANNING ISSUES

The main planning issue relates to the impact the proposal would have on highway safety, the impact on the Grade II Listed Building and the impact on the surrounding Green Belt.

Policies BE8 and BE10 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seek to protect the character, appearance and setting of Listed Buildings. Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) requires new development to harmonise with the existing street scene. Paragraph 4.26 of HDAS: Residential Layouts states that high gates will normally be resisted by the Council as they can present an alienating frontage.

Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) will not permit developments in the Green Belt that would injure the visual amenity of the Green Belt by the siting, materials and design.

The overall height and design of the existing entrance gate presents an alienating frontage to the site as the gate creates a sense of enclosure that detracts from the openness of the surrounding Green Belt and harms the setting of the Grade II Listed Building.

In their amended form, the Council's Conservation Officer considers the proposed entrance gates to be acceptable in regards to its design as the open timber railing along the top of the gates would reduce the current sense of enclosure of the site and allow for public views of the Grade II Listed Building, thereby reducing the impact on the character, appearance and setting of the Listed Building and the street scene. The reduction in height of the proposed entrance gates, particularly in the middle of the gates, also assists in reducing the sense of enclosure around the Listed Building and retaining the rural openness of the street scene and surrounding Green Belt.

The proposed replacement gates are considered to comply with Policies BE8, BE10, BE13 and OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the Council's HDAS: Residential Extensions.

In regards to highways safety, the proposed gates would open inwards and would be located the same distance from the highway as the existing gates, which are to be removed. It is recommended that these elements are secured by way of condition.

As such, the proposal is considered acceptable in highway terms and the Council's Highways Engineer raises no objection to the proposed replacement gates. The development therefore accords with Policies AM3 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 6 of the London Plan (2015).

6. RECOMMENDATION

APPROVAL subject to the following:

1 HO1 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 HO2 Accordance with approved

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans; Location Plan, HARE1401 Site Survey, Heritage, Design and Access Statement (Revised January 2016) and Proposed Gates (Revised January 2016).

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part

Two - Saved UDP Policies (November 2012) and the London Plan (2015).

3 H13 Installation of gates onto a highway

The proposed gates hereby approved shall be inward opening only and positioned as per the approved plans and no closer to the highway than the existing gates which are to be removed. Thereafter the gates shall be retained as approved in perpetuity.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM3 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 6 of the London Plan (2015).

4 NONSC Non Standard Condition

The exterior finish of the gates hereby approved shall be completed in accordance with the details shown in the Heritage, Design and Access Statement (Revised January 2016); appendix 1 Wentworth Gates specification and shall thereafter be maintained in perpetuity.

REASON:

To protect the setting of the Grade II listed Building and Green Belt in accordance with policies BE8, BE10, BE13 and OL4 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

PT1.BE1	(2012) Built Environment
PT1.EM2	(2012) Green Belt, Metropolitan Open Land and Green Chains
PT1.HE1	(2012) Heritage

Part 2 Policies:

BE8	Planning applications for alteration or extension of listed buildings
BE10	Proposals detrimental to the setting of a listed building
BE13	New development must harmonise with the existing street scene.

BE19	New development must improve or complement the character of the area.
OL4	Green Belt - replacement or extension of buildings
NPPF9	NPPF - Protecting Green Belt land
NPPF12	NPPF - Conserving & enhancing the historic environment

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.
- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).
- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).
- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal

agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.

8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

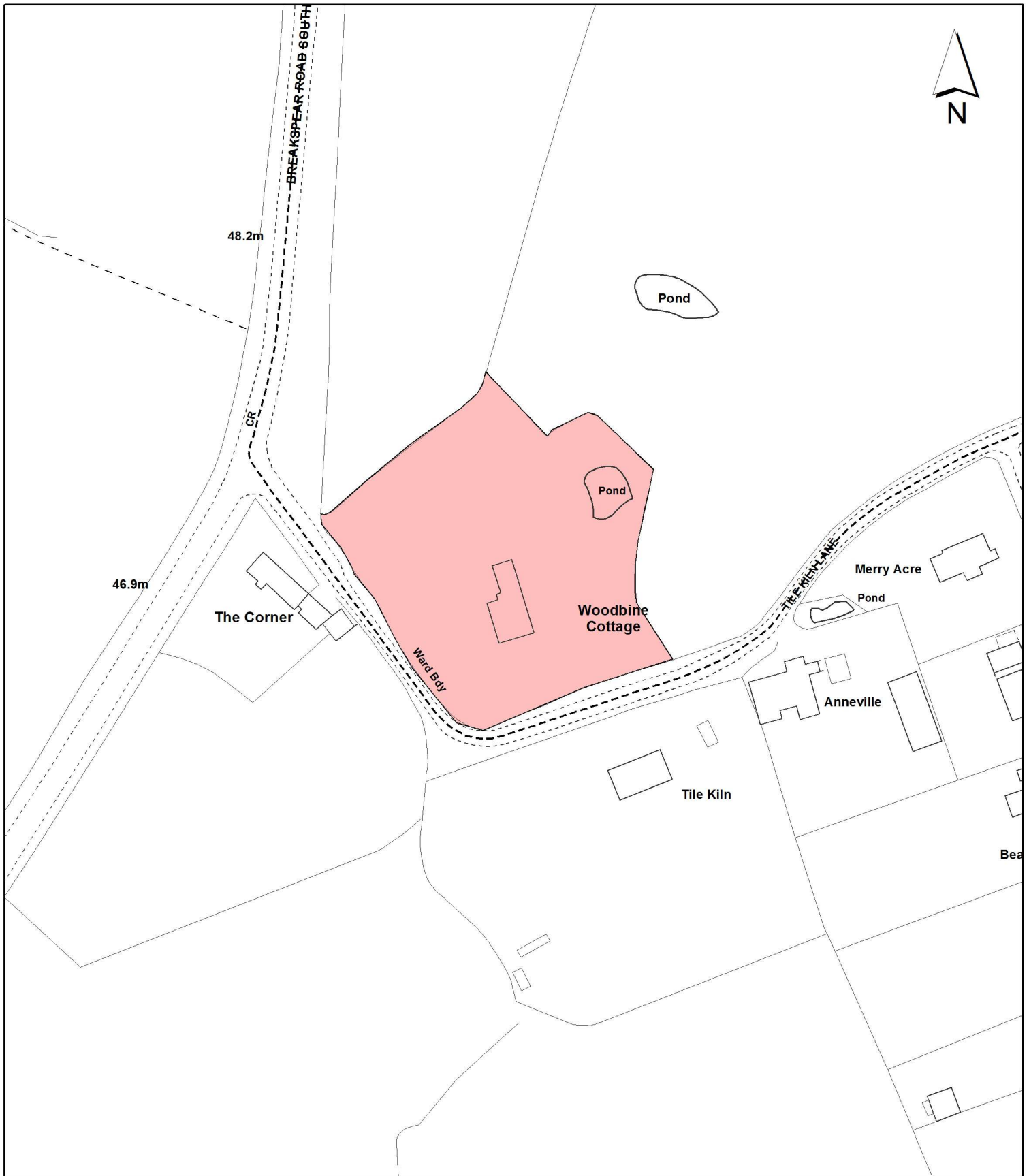
You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.

- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO2) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Katherine Mills

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address: **Woodbine Cottage
 Tile Kiln Lane
 Harefield**

Planning Application Ref:
26852/APP/2015/3699

Planning Committee:
North Page 65

Scale:
1:1,250

Date:
February 2016

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111



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Plans for North Applications Planning Committee

Tuesday 9th February
2016



HILLINGDON
LONDON



INVESTOR IN PEOPLE

www.hillingdon.gov.uk
Page 67

Report of the Head of Planning, Sport and Green Spaces

Address LAND ADJACENT TO 68 KNOLL CRESCENT KNOLL CRESCENT
NORTHWOOD

Development: Two storey detached dwelling with associated parking and amenity space

LBH Ref Nos: 70975/APP/2015/3737

Date Plans Received: 08/10/2015

Date(s) of Amendment(s):

Date Application Valid: 15/10/2015

REVISION	DATE	DESCRIPTION
A	08-06-15	SCALE & PROJECT NAME CHANGED
B	09-09-15	BUILDING MOVED SLIGHTLY TO SOUTH TO OVERCOME TREE ISSUE



KNOLL CRESCENT



LOCATION PLAN
1:1250



LAND ADJACENT 68 KNOLL CRESCENT,
NORTHWOOD

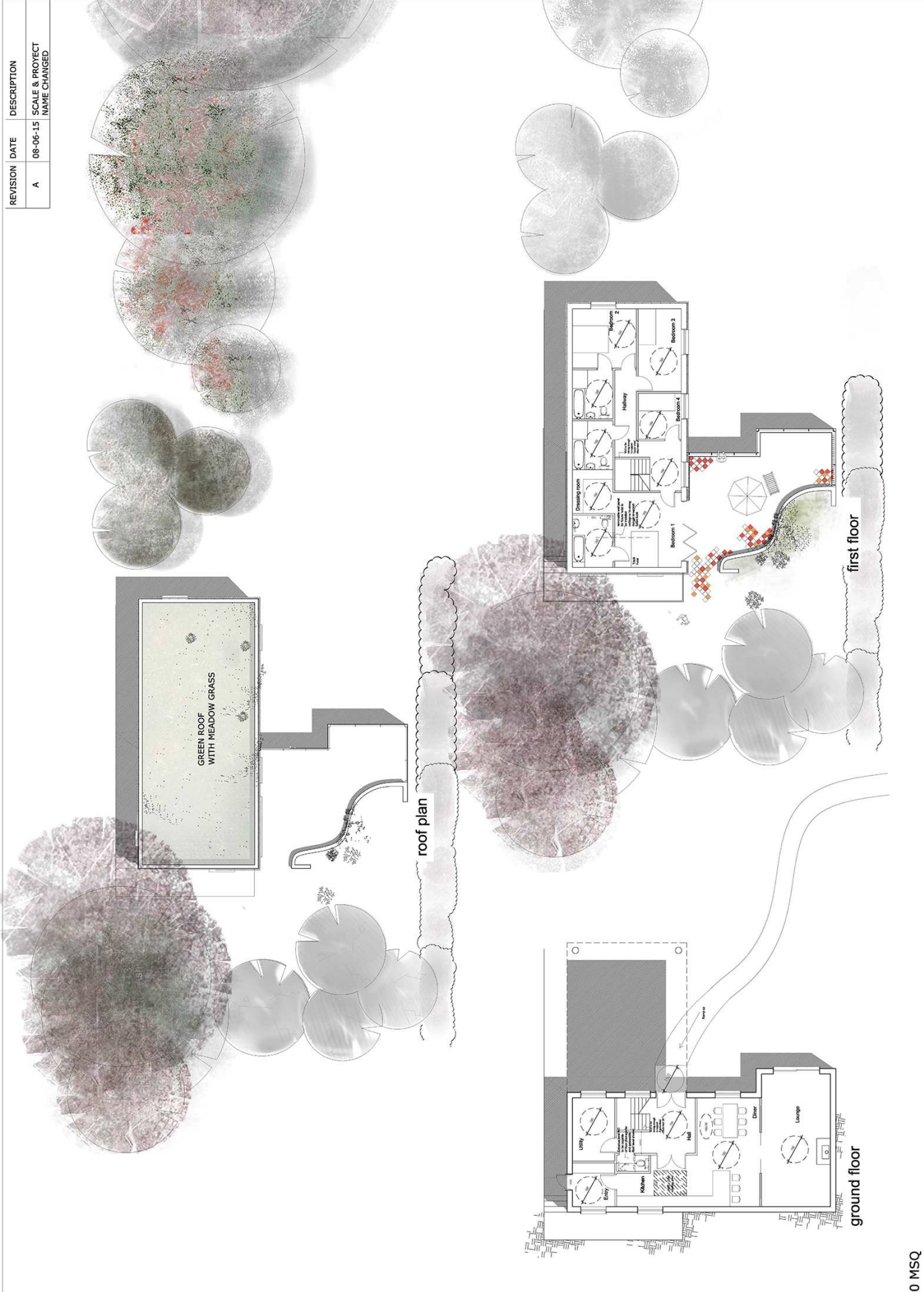
Scale Bar 1:200 @ A1 Metres 0 4 8 12 16 20 24 28 32 36 40

THE GILLETT MACLEOD PARTNERSHIP
Chartered Architects & Town Planning Consultants

1 High Road, Old Eatestate, Pinner, Middlesex HA5 2EW Tel: 0208 868 1333

Dwg. No.: 14/2849/10 B REVISION
Scale 1:200 @ A1 B

REVISION	DATE	DESCRIPTION
A	08-06-15	SCALE & PROJECT NAME CHANGED



LIFETIME HOMES INFORMATION

ACCESS AND ENTRANCE WAYS TO BE WELL LIT

ALL INTERNAL DOORS TO BE A MINIMUM CLEAR OPENING WIDTH

STARTS TO HAVE NO MORE THAN A 17mm RISER, A TREAD OF NO LESS THAN 22mm AND A MAXIMUM OF 300mm BETWEEN TOP AND BOTTOM

800mm PER NOSE

THE CLEAR OPENING WIDTH OF THE FRONT DOOR SHOULD BE A MINIMUM OF 800mm

THE DOOR SHOULD BE ACCESSIBLE TO ALL ADULTS

WALLS IN THE BATHROOM AND WC'S SHOULD BE FINISHED WITH AN ADAPTABLE FINISH SUCH AS WALL PAPER

LIVING ROOM WINDOW GLAZING SHOULD BEGIN AT 800mm OR LOWER

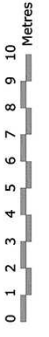
SWITCHES, SOCKETS, VENTILATION AND SERVICE CONTROLS SHOULD BE ACCESSIBLE TO ALL ADULTS (BE BETWEEN 450mm AND 1200mm FROM THE FLOOR)



TOTAL NET AREA 180 MSQ

LAND ADJACENT 68 KNOLL CRESCENT, NORTHWOOD

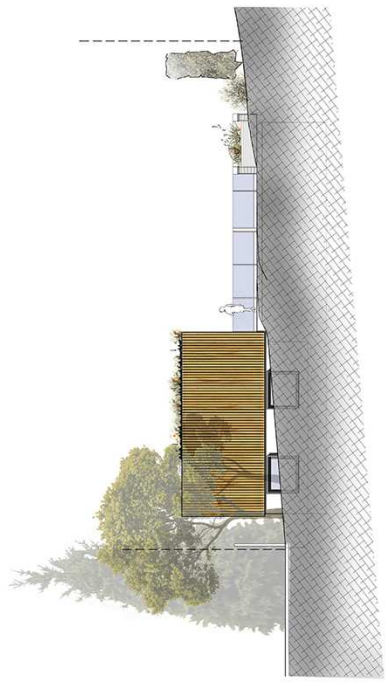
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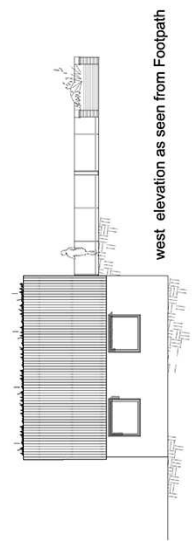
THE GILLETT MACLEOD PARTNERSHIP
 Chartered Architects & Town Planning Consultants
 1 High Road Old Eastcote Pinner, Middlesex HA5 2EW Tel: 0208 868 1333
 Drawn by RV

DRG. No.	REVISION
14/2849/11	A
Scale	1:100 @ A1
Date	10/02/15
Drawn by	RV

REVISION	DATE	DESCRIPTION
A	08-06-15	SCALE & PROJECT NAME CHANGED



west elevation



west elevation as seen from Footpath



south elevation

LAND ADJACENT 68 KNOLL CRESCENT, NORTHWOOD

Scale Bar 1:100 @ A1 and 1:200 @ A3

0 1 2 3 4 5 6 7 8 9 10 Metres

THE GILLETT MACLEOD PARTNERSHIP
Chartered Architects & Town Planning Consultants
1 High Road Old Estate Primer, Middlesex, HA5 2EW Tel. 0208 868 1333

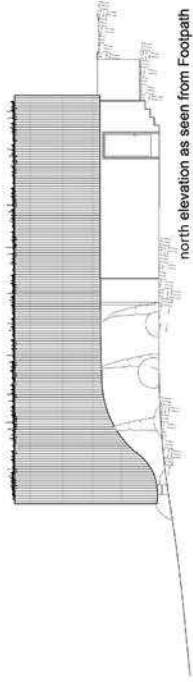
CA

Drg. No. **14/2849/13^A** REVISION
Scale **1:100 @ A1** A
Date **10/02/15**
Drawn by **RV** C

REVISION	DATE	DESCRIPTION
A	08-06-15	SCALE & PROJECT NAME CHANGED



east elevation



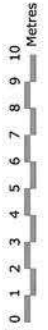
north elevation as seen from Footpath



north elevation

LAND ADJACENT 68 KNOLL CRESCENT,
NORTHWOOD

Scale Bar 1:100 @A1 and 1:200 @A3



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Chartered Architects & Town Planning Consultants
1 High Road Old Eastcote Pinxter Middlesex HA5 2EW Tel. 0208 868 1333

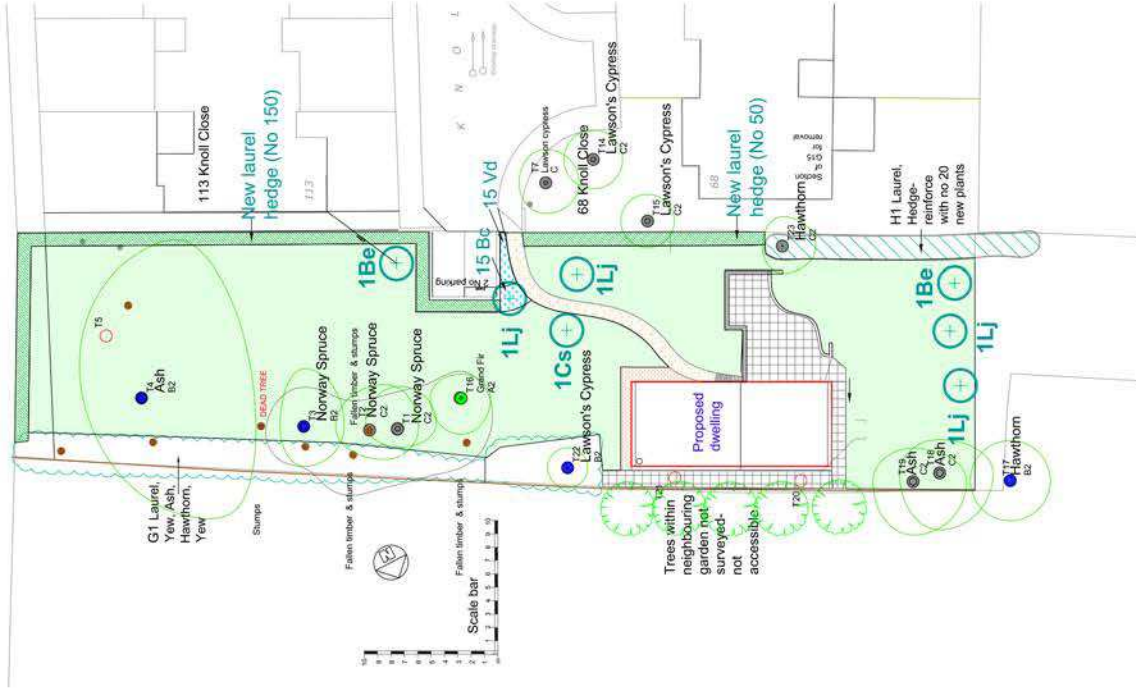
Drg. No. 14/2849/14^A REVISION
Scale 1:100 @ A1 A
Date 10/02/15
Drawn by RV C

Planting Schedule Plan 553.15

Trees			
Key	Species	girth size	container size
Be	Betula errantii	12 to 14	46 litre
Cs	Cercis siliquastrum	12 to 14	45 litre
Lj	Ligustrum japonicum	12 to 14	45 litre
TOTAL			7

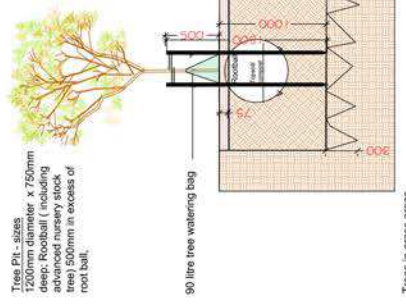
Hedging		
Species	Size	planting density
Prunus laurocerasus (Laurel)	5 litre	3/m
TOTAL		220

Ground cover shrubs		
Key	Species	Size
Bc	Bergenia cordifolia	3 litre
Vd	Viburnum davidii	3 litre
TOTAL		30



SCHEDULE

- Trees to retain
- New trees
- Existing groups of trees
- Existing hedge
- New hedges
- Ground cover planting
- Planting beds for residents to plant
- Lawn
- Paths
- Terrace-paved
- Retaining wall
- Close boarded fence



Trees in glass sheds:
 Dublin stakes 1.5 x 75mm diameter 1m into the ground, secured with two hops of hessian webbing 50mm wide nailed to each tree stake.
 Excavate pit 750mm deep by 1200mm diameter, break up pit 300mm deep, plant tree and fill with excavated topsoil and compact. Lay 75mm bark mulch 500mm round trees surrounding the tree and water in. Fit 90 litre tree watering bag.

All planting operations shall be carried out in accordance with British Standards 4428. Planting pits are to be dug at a size in excess of the roots to be planted. A minimum of 80 litres of peat free tree planting compost or well rotted manure is to be incorporated in the backfill of all tree pits - (see enclosed diagram)

Trees are to be staked with low stakes, 1500mm long, 750mm into the ground and the tree secured by one tree tie. All trees are to have 90 litre watering bags as supplied by Barcham trees or similar and mulched 1m diameter round the tree with a bark mulch - one metre diameter round the base of each standard tree is to be mulched 75mm deep with medium grade bark mulch.

Hedging and Shrub beds - excavate 500mm deep, and break up the base of the planting beds. Provide and lay 400mm deep topsoil in accordance with BS 3882. Cultivate to this depth and incorporate 100mm of well rotted farmyard manure or approved compost. Supply plants in accordance with BS 3936 and plant in accordance with BS 4428. Plant hedging in double staggered row, for boundary hedging 4 per metre, for low hedging 6 per metre. Stake and lay medium grade ornamental bark mulch 75mm deep to all shrub beds.

Grass: cultivate areas and provide topsoil if required for minimal 150mm depth, cultivate to fine tilth and remove stones greater than 25mm. Rectangular cut meadow turf to be supplied in rolls, not dried out or yellowed. Turf will be laid on the day of delivery, to be undamaged and laid on suitably sized a running board. Turf grown on any nylon matting will not be accepted. Lay turf in stretcher bond close butted, and make good joints with screened sand/topsoil. The finished level of the turf to be 50mm higher than hard surfaces. Water in.

Maintenance
 All plants are to be maintained until established. Shrub beds are to be kept weed free. Grass to be kept well watered until established and kept free from soil. Grass to be cut at a height of 100mm and cut to a diameter of 10mm. All cuttings are to be kept free from soil. Additional diameter cuttings are to be kept free from soil. The bark mulch is to be topped up annually to 75mm and the planting beds kept free of litter.

Plants within the shrub beds to be faced back from path edges as required. The following plants to be maintained at a consistent height depending on species and location Box hedges to be maintained at 450-600mm, and boundary along Dobbs Weir road at a minimum of 1.2 metres or as directed by the client. Hedge along

Grass is to be cut 6 times during the first growing season. The first cut to be when the grass is well rooted and has reached a height of 100mm and cut to 50mm and lightly rolled. During the first year all cuttings are to be removed from site. Grass should only be cut when dry. The grass is to be maintained at 40mm and frequency of cutting will depend on the growing season but be increased to 30mm during the summer months to ensure and maintain adequate growth. Watering shall be carried out with sprinklers or oscillating sprays at a rate of watering will be 15 litres per square metre

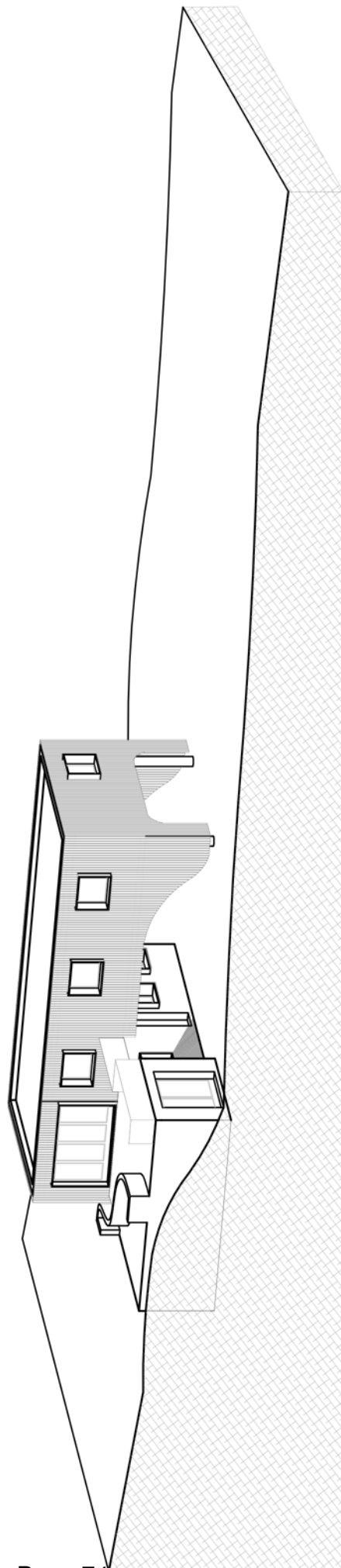
Replace any tree or plant within a five year period that fails to thrive or is below specification.
 Any grass area that fails shall be re-turfed in accordance with the specification.

Annual Maintenance for Trees
 All plants are to be maintained until established.
 Maintain a 1 metre diameter surround to trees free from grass, weeds and rubbish at all times.

Newly-planted trees are to be watered during April-September.
 The time between watering is to be fortnightly with additional visits if there has not been rainfall within the period.
 Fill tree watering bags with 90 litre of water for slow release per visit: tree should be watered twice monthly during the summer months for the first 2 years unless there is adequate rainfall to fully hydrate the surrounding ground.

- Fork over panned down areas.
- Maintain mulched areas at specified depth, topping up as necessary to maintain a 75 mm cover.
- Check each stake and tie where fitted and adjust, re-fix or renew as necessary to ensure that no damage occurs to any tree and check each stake is supporting its tree in the intended manner.
- Check that each tree is growing healthy and remove all dead wood, damaged or diseased branches. Remove any suckering shoots growing from the clear stem. Prunings to be removed off site to the contractors tip.
- BS 3998: 2010 Recommendations for Tree Work - Re-plant trees which have been loosened by the wind or lost.

Revision A - Amended layout
 Date: 30.01.15
 Drawn by: May 2015
 Checked by: J.A.G.
 Approved by: 553.15
 Date: 5.5.3.15
 Page No: 553.15.44
 Elizabeth Greenwood C.M.L.L., F.Arb.A.
 10 Knight Street, Sawkingworth, Hems, CM21 8AT.
 Tel: 01279 722381 mobile 01749687402, email me.greenwood@gmail.com





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Site Address:

**Land adjacent to 68 Knoll Crescent
 Knoll Crescent
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

70975/APP/2015/3737

Scale:

1:1,250

Planning Committee:

North Page 75

Date:

February 2016



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address LAND BETWEEN 2 & 6 WOODSIDE ROAD NORTHWOOD

Development: Two storey, 3-bed, detached dwelling with habitable roofspace, with associated parking and amenity space and installation of vehicular crossover to front

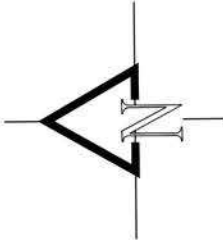
LBH Ref Nos: 70377/APP/2015/3826

Date Plans Received: 15/10/2015
Date Application Valid: 16/11/2015

Date(s) of Amendment(s):

NOTES

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USL
Architects
132-134 College Road
London
HA1 1BQ

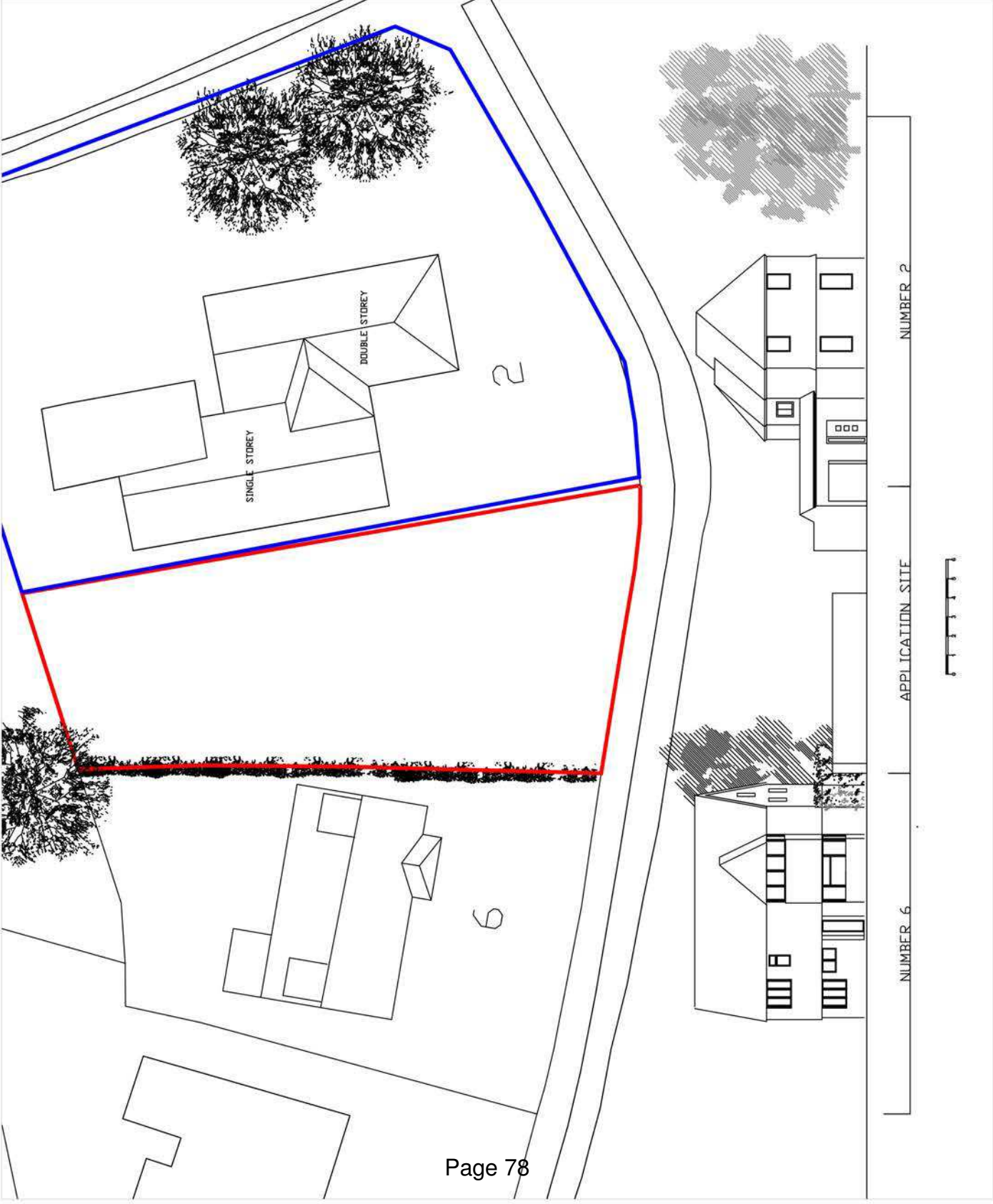
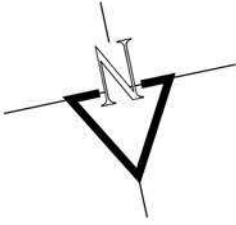
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Drawing	EXISTING SITE PLAN (A)
Job	Land between 2 and 6 woodside road HA6 3CE Northwood, Greater London
Date	05/10/2015
Scale	1:1250 @A3
Drn	MK
Chk	BK
Drawing No.	WS/EX/001
Revision	

EXISTING - SITE PLAN (A)

NOTES

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 132-134 College Road
 London
 HA1 1BQ

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Drawing	EXISTING SITE PLAN (A)		
Job	Land between 2 and 6 woodside road HAE 3CE Northwood, Greater London		
Scale	1:200@A3	Date	05/10/2015
		Drm	MK
		Drawing No.	BK
		Revision	
			WS/EX/002

EXISTING - SITE PLAN (A)

NOTES

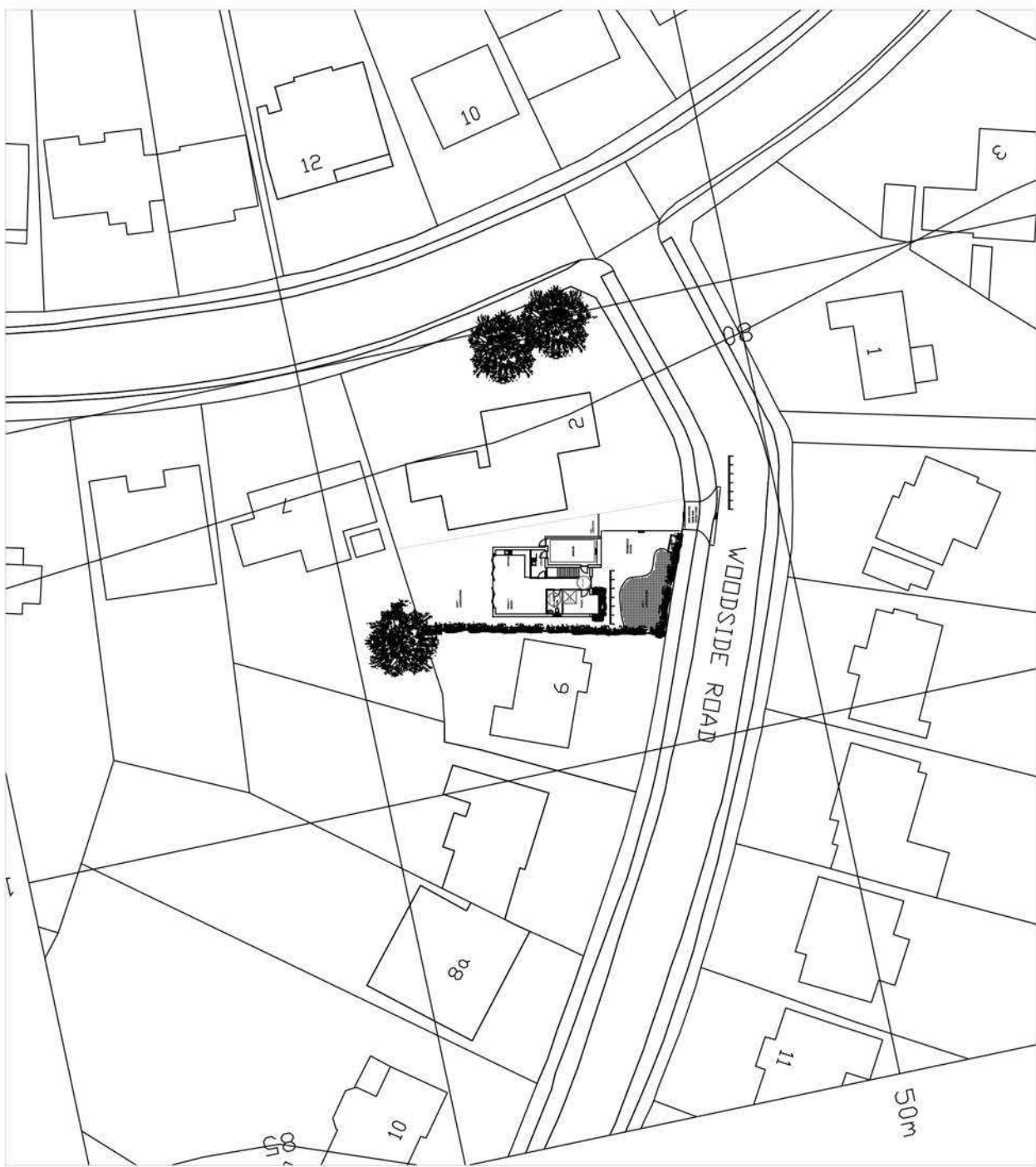
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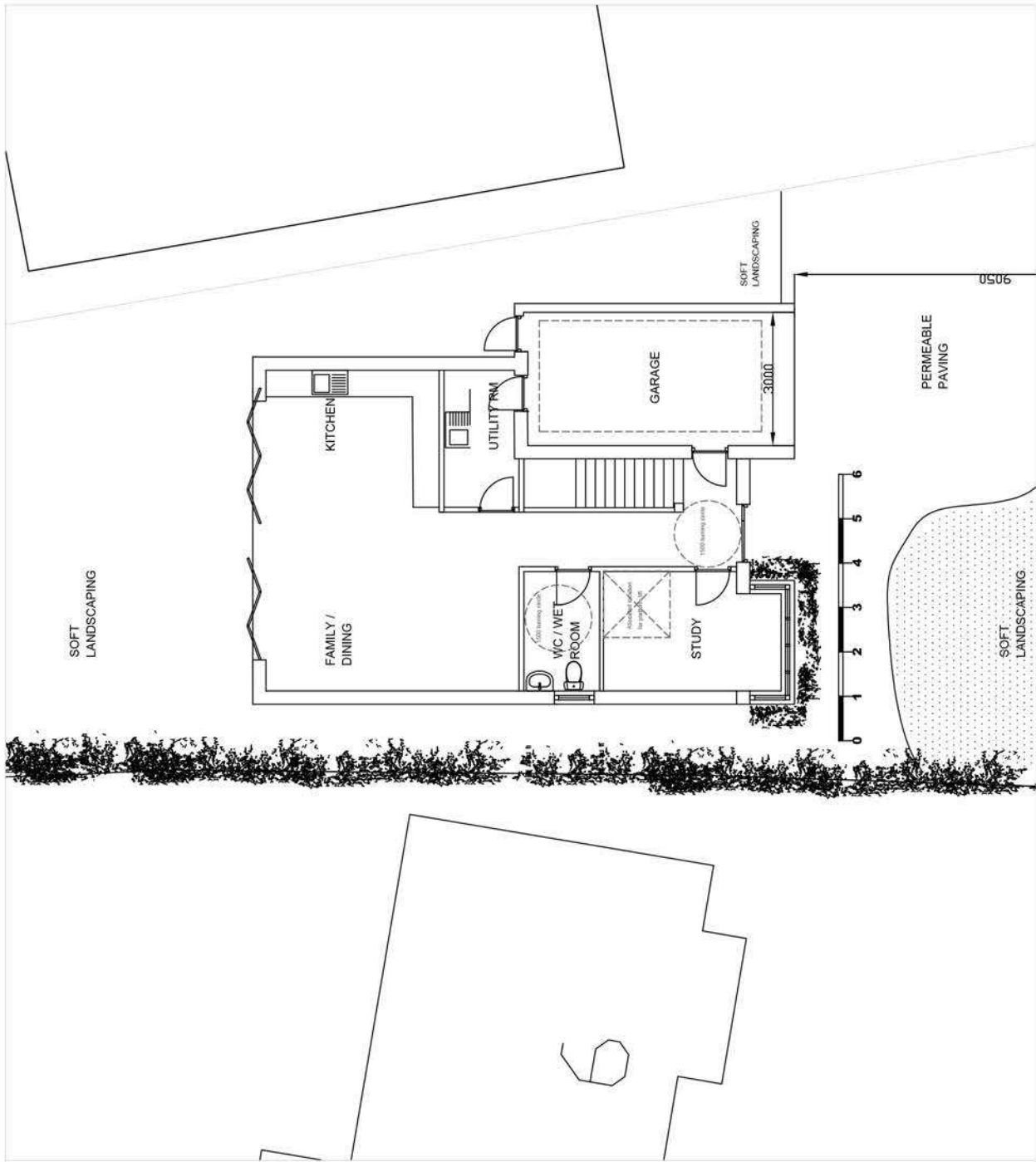
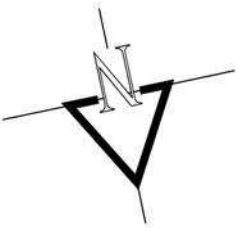
Drawing	PROPOSED SITE PLAN (A)	Dim	CHK
Job	Land between 2 and 6 Woodside road HA8 3CE Northwood, Greater London	Date	MK BK
		05/10/2015	Revision
		Scale	
		1:500@A3	WS/PL/100



PROPOSED - SITE PLAN (A)

NOTES

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 HA1 1BQ

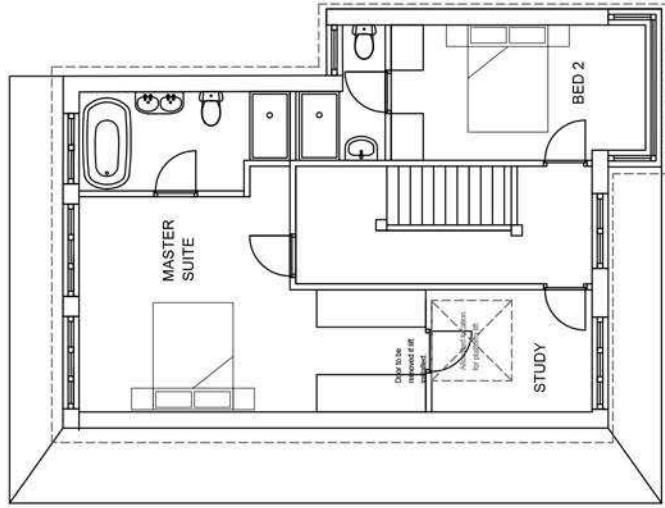
This drawing is copyright
 USL Architects.

Drawing	PROPOSED GROUND FLOOR PLAN (A)	
Job	Land between 2 and 6 Woodside Road HA6 3CE Northwood, Greater London	
Scale	1:100@A3	
Date	05/10/2015	Dir. MK
Drawing No.	WS/PL/101	Chk. BK
Revision		Revision

PROPOSED - GROUND FLOOR PLAN (A)

NOTES

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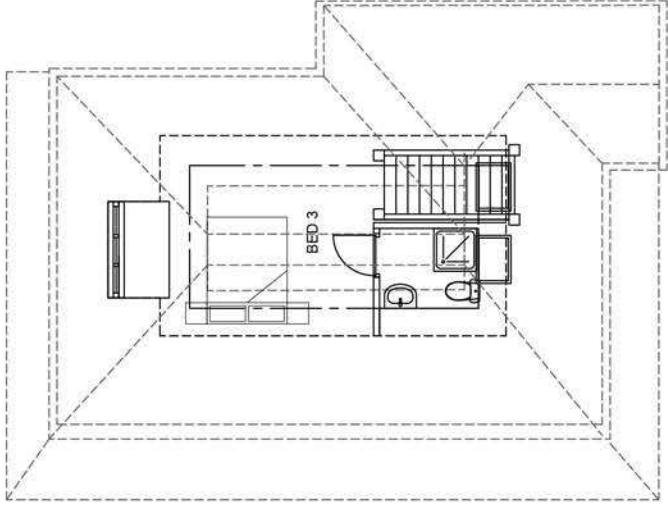
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Drawing	PROPOSED FIRST FLOOR PLAN (A)	
Job	Land between 2 and 6 Woodside Road HA6 3CE Northwood, Greater London	
Date	05/10/2015	Drn CHK
Scale	1:100@A3	MK BK
		Drawing No. Revision
		WS/PL/102

PROPOSED - FIRST FLOOR PLAN (A)

NOTES

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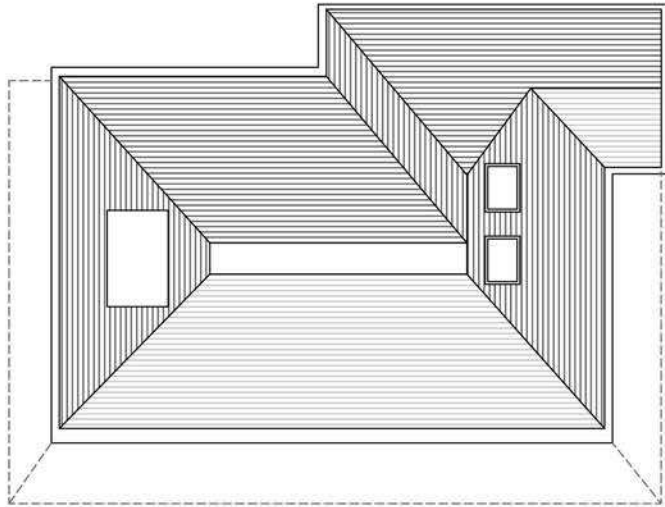
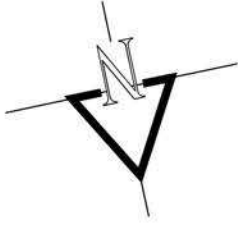
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USL Architects.

Drawing	PROPOSED LOFT FLOOR PLAN (A)	Date	05/10/2015	Drn	MK	Chk	BK
Job	Land between 2 and 6 Woodside Road HA6 3CE Northwood, Greater London	Scale	1:100@A3	Drawing No.	WS/PL/103	Revision	

PROPOSED - LOFT FLOOR PLAN (A)

NOTES

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Drawing	PROPOSED ROOF PLAN (A)	Dir:	Chk
Job	Land between 2 and 6 Woodside Road HA6 3CE Northwood, Greater London	Date	05/10/2015
		Scale	1:100@A3
		Drawing No.	WS/PL/104
		Revision	
		Dir:	MK
		Chk:	BK

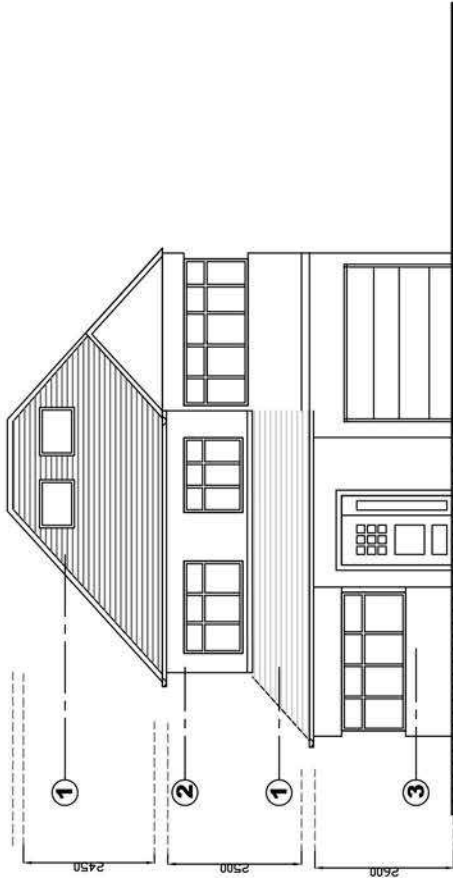
PROPOSED - ROOF PLAN (A)

NOTES

When printing from PDF, please ensure 100% scaling or that 'Page Scaling' is set to 'none'.

Materials:

- 1 = Red roof tiles (Redland or similar)
- 2 = White render
- 3 = Red brick
- 4 =
- 5 =



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London
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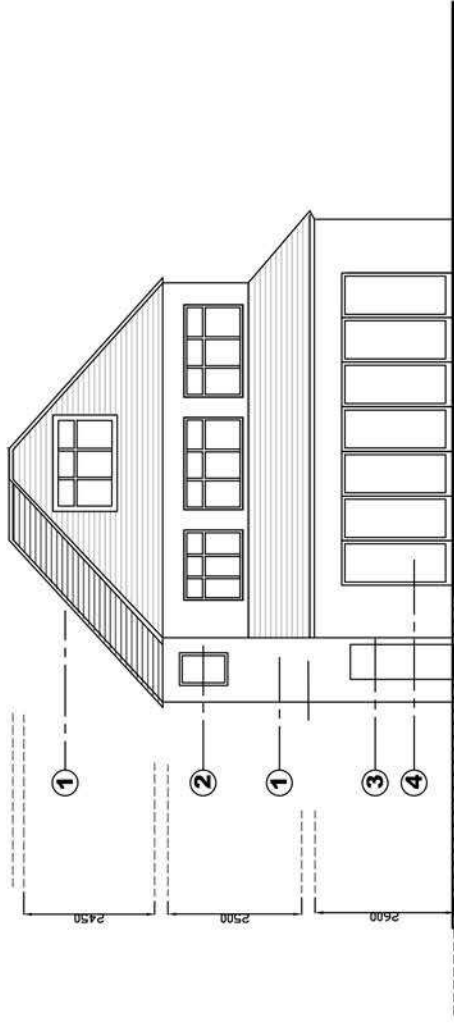
Drawing	FRONT ELEVATION (A)		Drn.	Chk
	PROPOSED		MK	BK
Job	Land between 2 and 6 Woodside Road HA6 3CE Northwood, Greater London		Date	05/10/2015
			Drawing No.	WS/PL/200
			Scale	1:100@A3
			Revision	

PROPOSED - FRONT ELEVATION (A)

NOTES

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- Materials:**
- 1 = Red roof tiles (Redland or similar)
 - 2 = White render
 - 3 = Red brick
 - 4 = Powder coated aluminium bi-fold doors
 - 5 =



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 London
 HA1 1BQ

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Drawing	PROPOSED REAR ELEVATION (A)		
Job	Land between 2 and 6 Woodside Road HAE 3CE Northwood, Greater London		
Date	05/10/2015	Dir.	MK
Scale	1:100@A3	Drawing No.	BK
		Revision	
			WS/PL/202

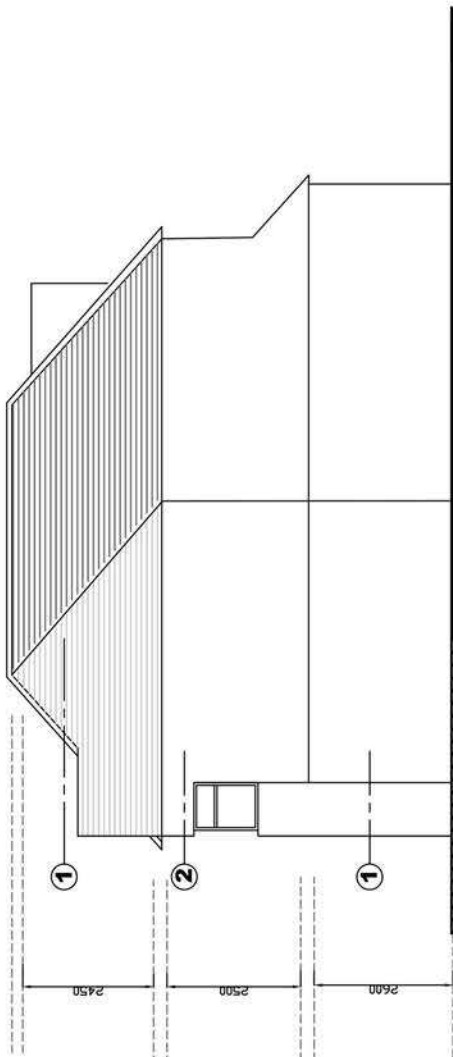
PROPOSED - REAR ELEVATION (A)

NOTES

When printing from PDF, please ensure 100% scaling or that 'Page Scaling' is set to 'none'.

Materials:

- 1 = Red roof tiles (Redland or similar)
- 2 = White render
- 3 = Red brick
- 4 =
- 5 =



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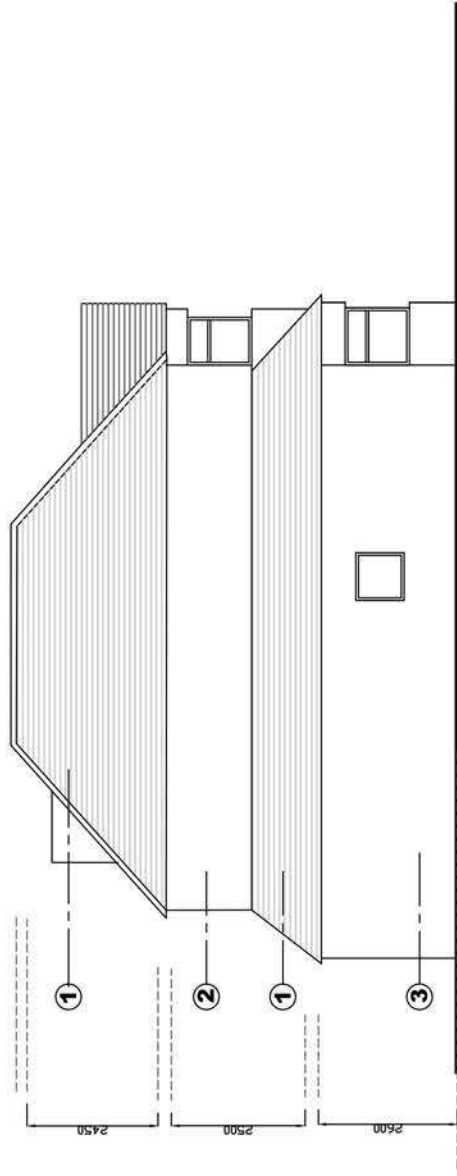
Drawing	PROPOSED SIDE ELEVATION (A) EAST	Date	05/10/2015	Drn	MK	Chk	BK
Job	Land between 2 and 6 Woodside road HAG 3CE Northwood, Greater London	Drawing No.	WS/FS/203	Revision			
Scale	1:100@A3						

PROPOSED - SIDE ELEVATION EAST (A)

NOTES

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- Materials:**
 1 = Red roof tiles (Redland or similar)
 2 = White render
 3 = Red brick
 4 =
 5 =



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 HA1 1BQ

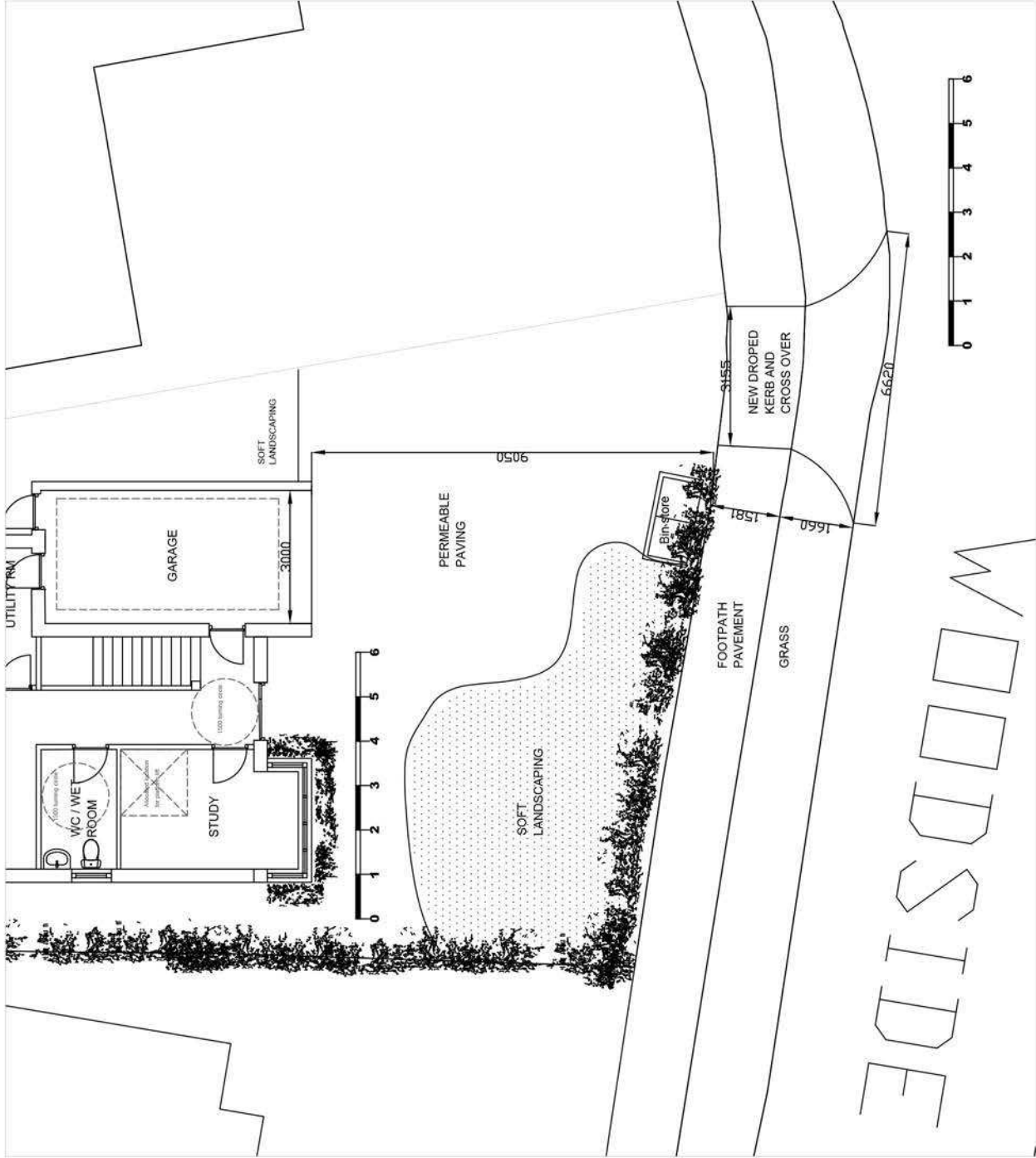
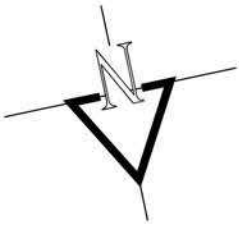
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Drawing	PROPOSED SIDE ELEVATION (A)
Job	Land between 2 and 6 Woodside road HA6 3CE Northwood, Greater London
Scale	1:100@A3
Date	05/10/2015
Drawing No.	WS/PL/201
Drn.	MK
Chk.	BK
Revision	

PROPOSED - SIDE ELEVATION WEST (A)

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Drawing	PROPOSED SITE PLAN (A)	Drn:	Chk:
Job	Land between 2 and 6 Woodside Road HAE 3CE Northwood, Greater London	Date:	05/10/2015
		Drawing No.:	MK BK
		Scale:	Revision
		1:100@A3	WS/PL/301

PROPOSED - FRONT DRIVE AND NEW VEHICLE ACCESS (A)

NOTES

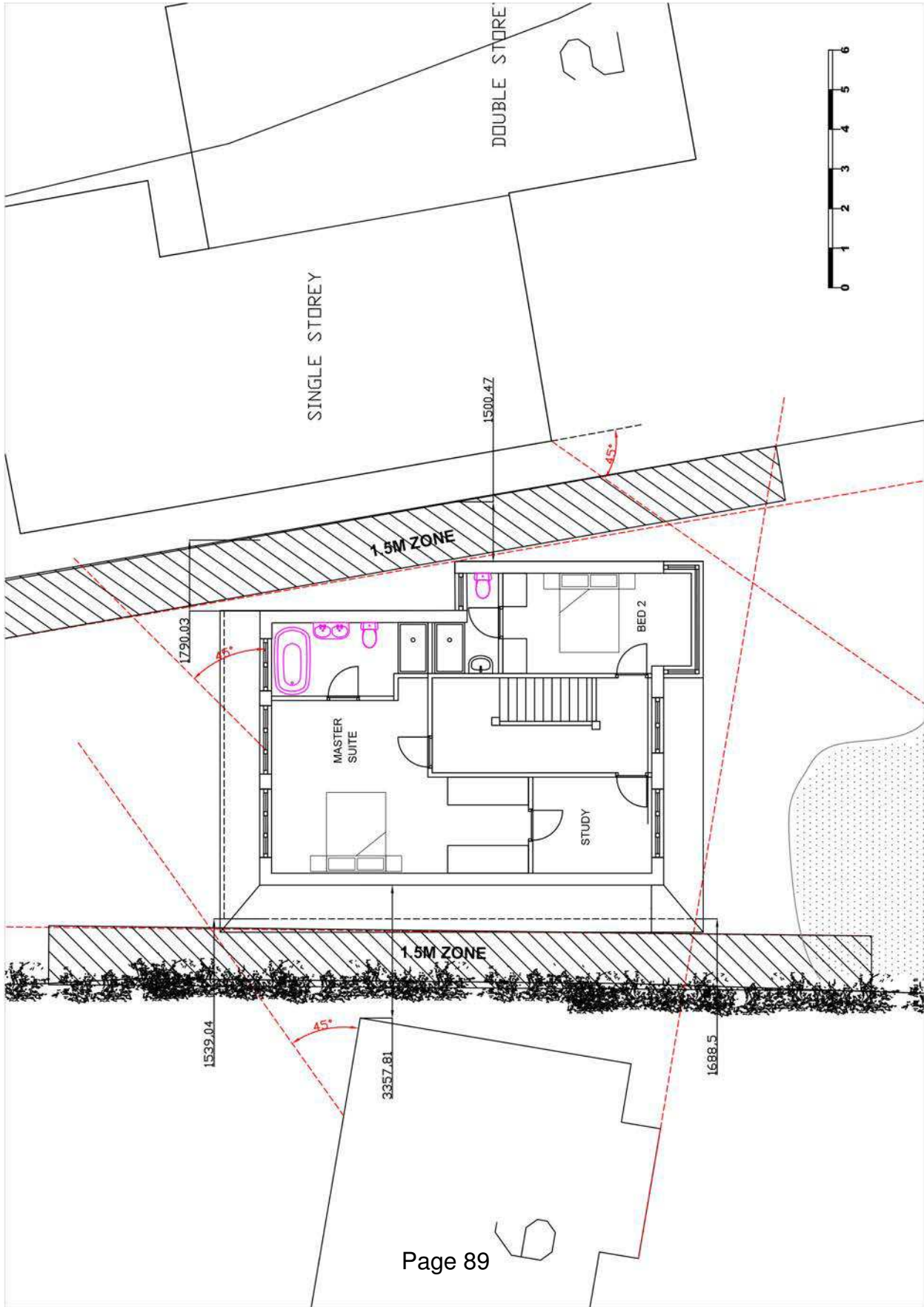
When printing from PDF, please ensure 100% scaling or that 'Page Scaling' is set to 'none'.

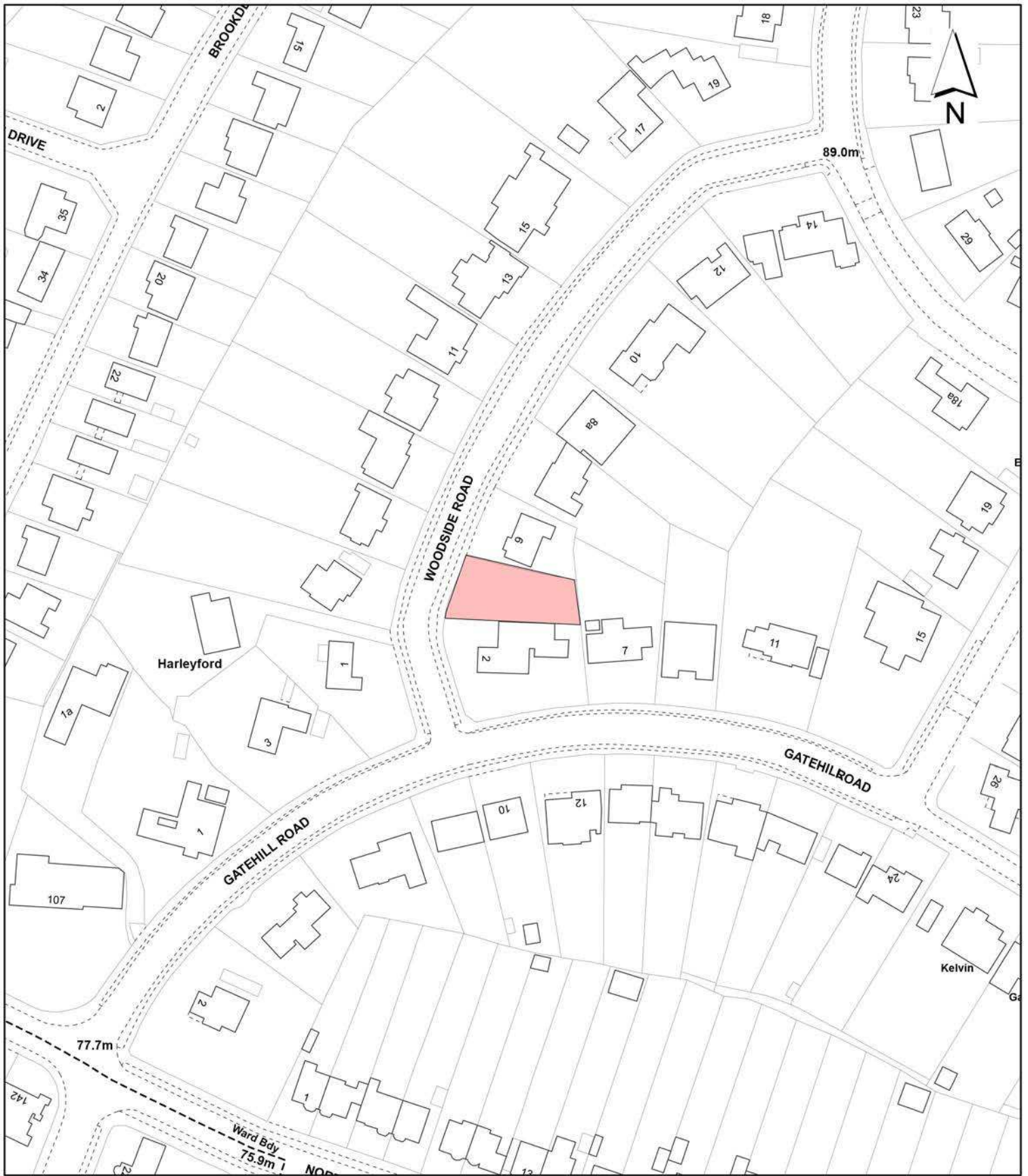


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Drawing	CONSTRAINTS DRAWING (A)		
Job	Land between 2 and 6 Woodside Road HA6 3QE Northwood, Greater London		
Date	05/10/2015	Drn	MK
Scale	1:100@A3	Drawing No.	WS/PL/302
		Revision	





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Site Address:

**Land Between
 2 & 6 Woodside Road**

**LONDON BOROUGH
 OF HILLINGDON**

**Residents Services
 Planning Section**
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
70377/APP/2015/3826

Scale:
1:1,250

Planning Committee:
North Page 90

Date:
February 2016



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address PAUL STRICKLAND SCANNER CENTRE, MOUNT VERNON HOSPITAL
RICKMANSWORTH ROAD NORTHWOOD

Development: Installation of temporary two storey portakabin building to be used as office accommodation

LBH Ref Nos: 3807/APP/2015/4220

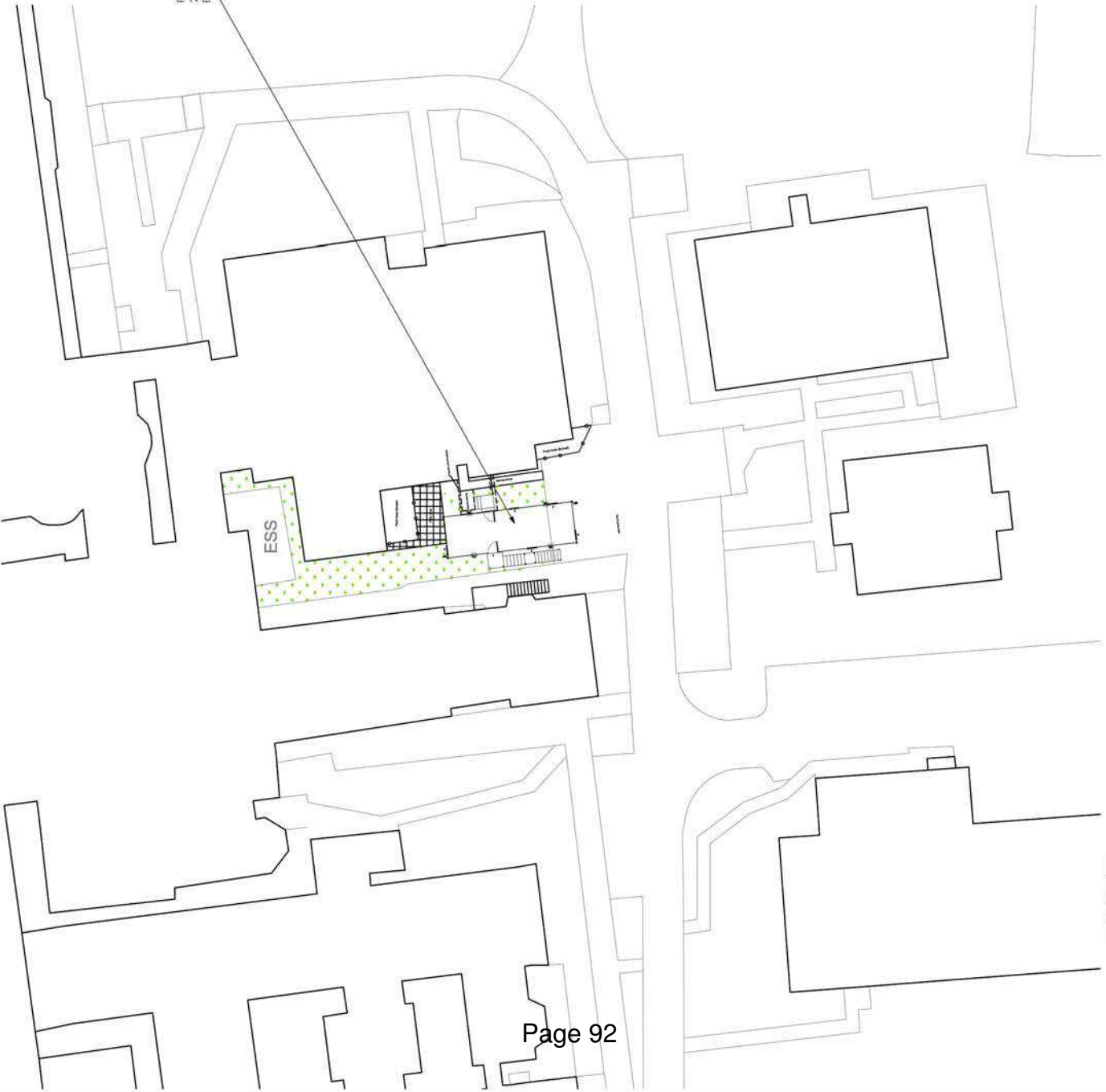
Date Plans Received: 16/11/2015

Date(s) of Amendment(s):

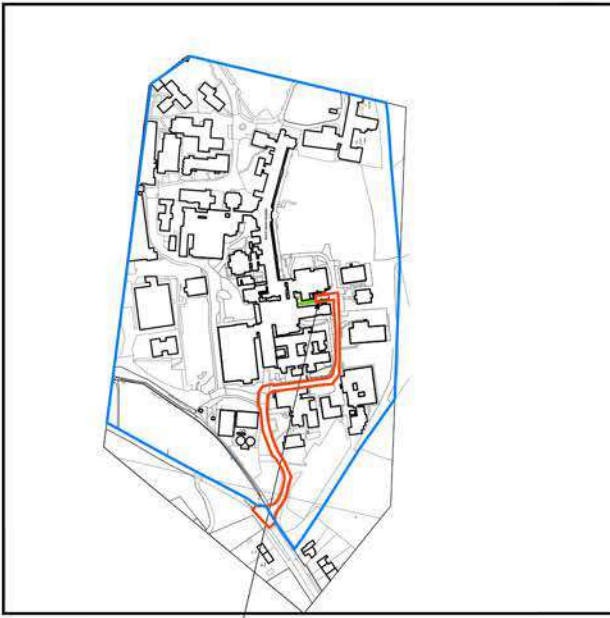
Date Application Valid: 07/12/2015



Proposed location of
2-storey Portakabin
Building.



BLOCK PLAN
scale 1:200



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LOCATION PLAN
scale 1:2500

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to anyone without written permission.

Portakabin	Total Solutions
Proposed Temporary Portakabin Offices for Paul Strickland Scammer at Mount Vernon Hospital, Rickmansworth, Northwood, HA6 2RN	
Date: 16th November 2015	
Scale : 1:200 & 1:2500	
Drawing Number	TSLP220120073 rev3

The buildings and staircases require pad foundations or a hardstanding capable of supporting the loadings given below. Foundations are to be designed in accordance with BS 8004. It is recommended that professional advice is obtained for the design of the foundations. Point of support should be in the same level plane to a tolerance of ± 3mm. When pad foundations are to be used they should be of sufficient size to ensure that the anchor bolts for the building and staircase can be positioned far enough away from the edges of the foundations as recommended by the anchor and staircase manufacturer.

The top level of the foundations must ensure a clearance between the ground and the underside of the building.

FOUNDATIONS – BUILDING

Buildings having the same leg centre dimensions can be double stacked. All buildings must be sited with the Lodostrut legs fully retracted and with all leg pins fitted through the outer legs and secured by pulling the chain tight and securing the anchor bolts detailed below. The upper and lower buildings must be bolted together at each of the 4 Lodostrut leg positions with M22 bolts (strength grade 8.8), washers and self locking nuts (strength grade 8).

Anchor bolt : Manufactured by Hilti (Great Britain) Ltd.
Adhesive anchor ref. HAS-R M20 X 240mm stainless steel anchor rod complete with nut and washer.
Adhesive cartridge ref. HEA M20 X 170mm.

FOUNDATIONS – STAIRCASE

The staircase must be anchored to the foundations at each of the landing leg and flight string positions using the anchor bolts detailed below. The landing must be bolted to the building structure using the brackets supplied with the anchor bolt.

Anchor bolt : Manufactured by The Rowling Company Ltd.
Through Bolt code 56-628, M10 X 80mm stainless steel anchor rod complete with nut and washer.

FOUNDATION LOADINGS

The foundation loadings for the building include the shell weight of the standard buildings, an imposed design floor load of 3kN/m² (per storey), an imposed design roof load of 0.75kN/m² and an applied basic wind speed of 25 m/s (BS 6399:part 2:1997).

The foundation loadings for the staircase include the weight of the staircase and an imposed design floor load

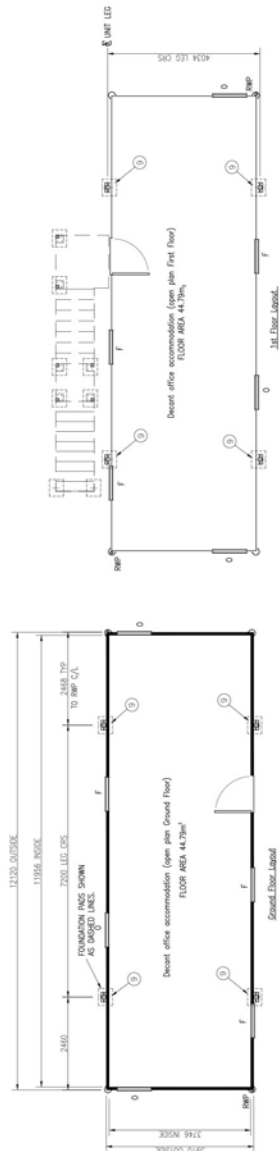
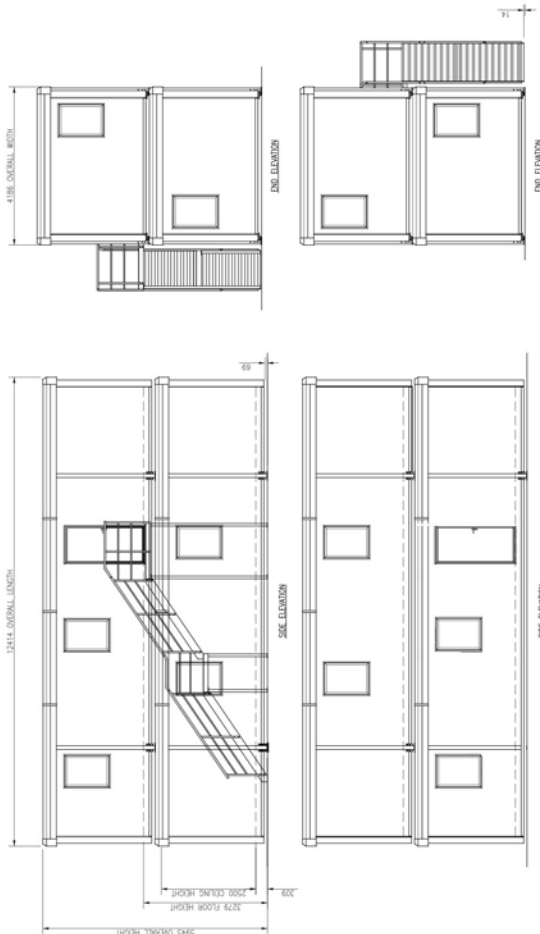
Foundation Position	1	2	3	4	5	6	7	8
Foundation Position 1	3 kN							
Foundation Position 2		5 kN						
Foundation Position 3			3 kN					
Foundation Position 4				3 kN				
Foundation Position 5					5 kN			
Foundation Position 6						5 kN		
Foundation Position 7							5 kN	
Foundation Position 8								5 kN

UNIT STANDARD COLOURS
Foundation Position 9 ----- 117 kN) Building

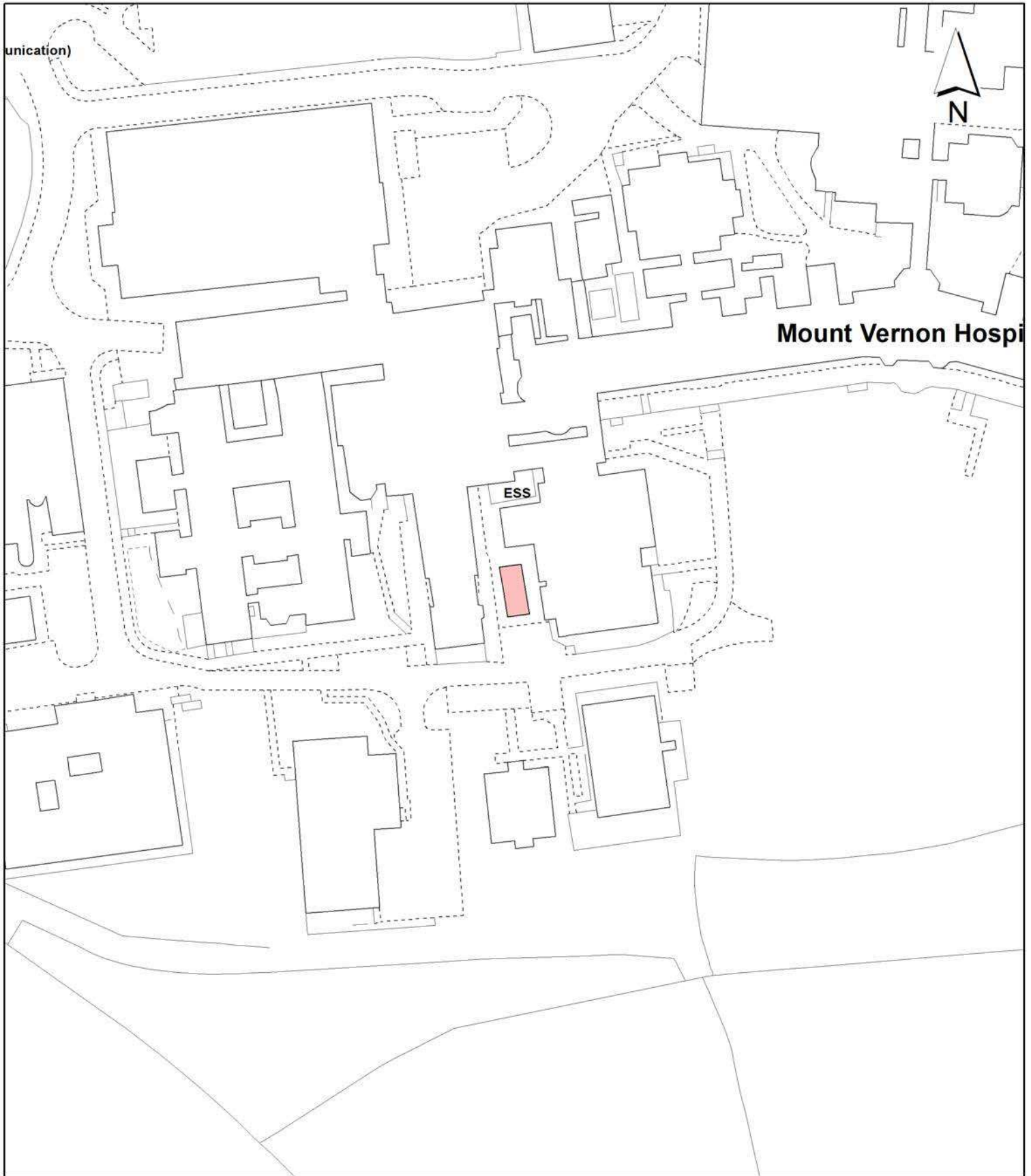
UNIT STANDARD COLOURS
External: Walls and wall trims
Corner trims
Roof
Lodostrut legs
Doors
Fascia
Windows
Gosswing grey BS ref 10 A 05
Silver
White nearest BS ref 00 E 05
Grey BS 4800 ref 10 A 05
Gosswing grey nearest BS ref 10 A 05
Grey RAL 7042
Blue foil wrapped ref. Renolit – Werke GmbH 515005-167

STAIRCASE DIMENSIONS

STAIRS	Rise O/A	170
	Going O/A	3230
	Tread	250
	Pitch	590
	Rise Plus Going	34.2
	Tread width	270
	Overlap of treads	20
	Width between string (unobstructed width)	1000
	Width between handrails	1012
	Handrail diameter	48
	Flight O/A width (handrail)	908
	Handrail Ht (Vertically from pitch line)	900
	Length O/A (including landing)	6889
LOWER FLIGHT	Going O/A	2250
	Rise O/A	1700
UPPER FLIGHT	Going O/A	2000
	Rise O/A	1530
SIDE DOOR LANDING	Width O/A	1400
	Length O/A	1423
	Handrail Height	1100
INTERMEDIATE LANDING	Width O/A	1012
	Length O/A	997
	Handrail Height	1000



Portakabin
Temporary Portakabin Buildings
Client: Paul Strickland Scanner Centre
Title: TN124 Two Storey Building
Date: 27.11.15
Scale: 1:50 @ A0
Dwg. No.: 271115



unication)

Mount Vernon Hospital

ESS

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Site Address:

**PAUL STRICKLAND SCANNER CENTRE,
 MOUNT VERNON HOSPITAL
 RICKMANSWORTH ROAD NORTHWOOD**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
3807/APP/2015/4220

Scale:
1:1,000

Planning Committee:
North Page 94

Date:
February 2016



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address 23 JOEL STREET NORTHWOOD

Development: Change of use from Use Class A1 (Retail) to mixed use Use Class A1/Sui Generis for use as bespoke bridal wear service, a bridal make over service and the retailing of related beauty and skin care products, involving single storey infill extension to front and new shop front

LBH Ref Nos: 8488/APP/2015/3905

Date Plans Received: 21/10/2015

Date(s) of Amendment(s):

Date Application Valid: 13/11/2015

Location Plan #877357



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0m 20m 40m 60m 80m 100m

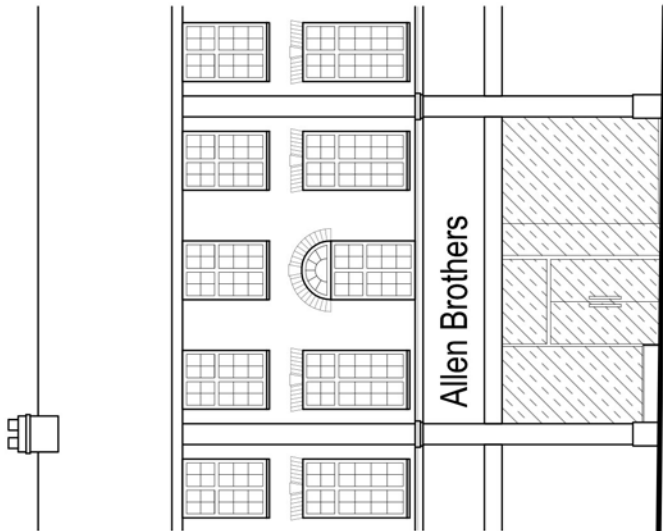
Scale: 1:1250, paper size: A4

Site Plan/Block Plan #877357

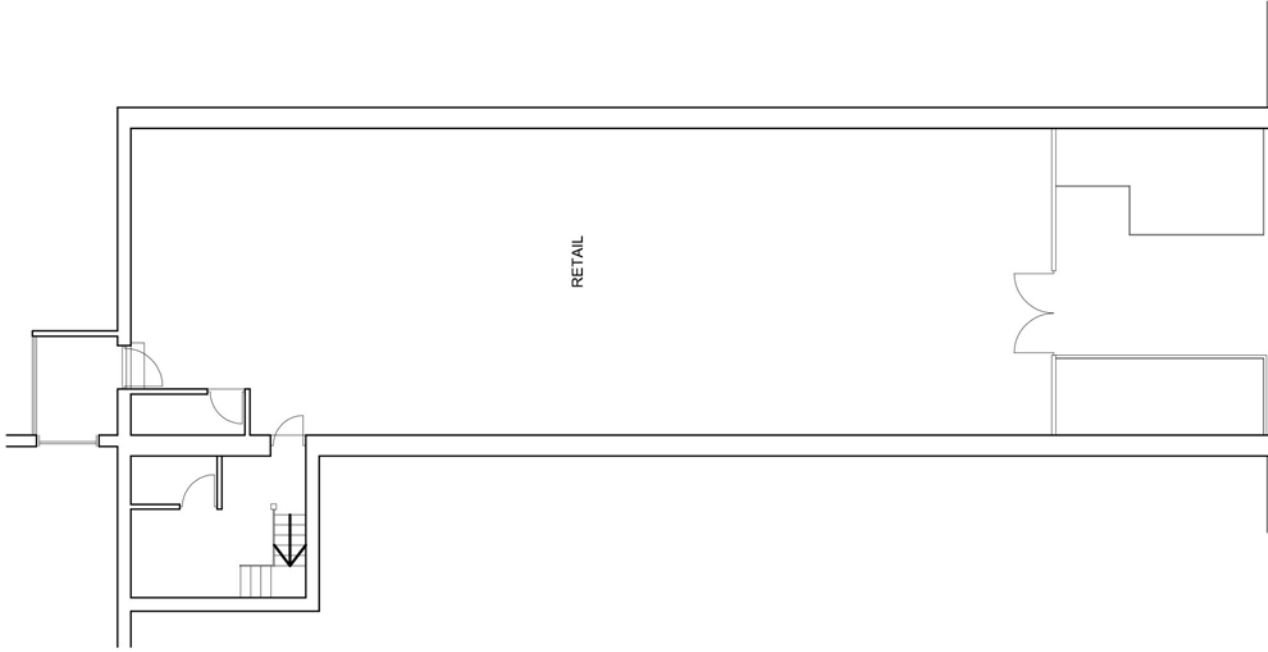


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Scale: 1:500, paper size: A4



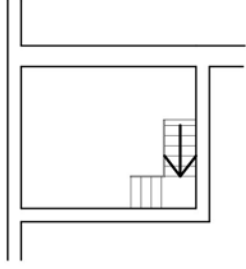
EXISTING FRONT ELEVATION



EXISTING GROUND FLOOR PLAN



SCALE BAR 1:100



EXISTING MEZZANINE

T R Harris Design & Surveying Services
 559 Rayners Lane, Pinner, Middlesex HA5 5HP
 www.trharrisdesign.co.uk Tel: 07957 619812

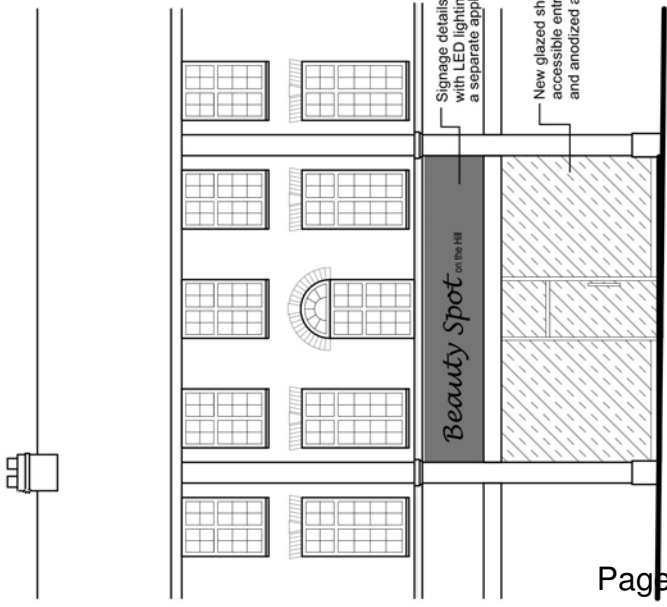
PROJECT

23 The Broadway
 Joel Street
 NORTHWOOD
 HA6 1NU

TITLE

Existing Plans & Elevations

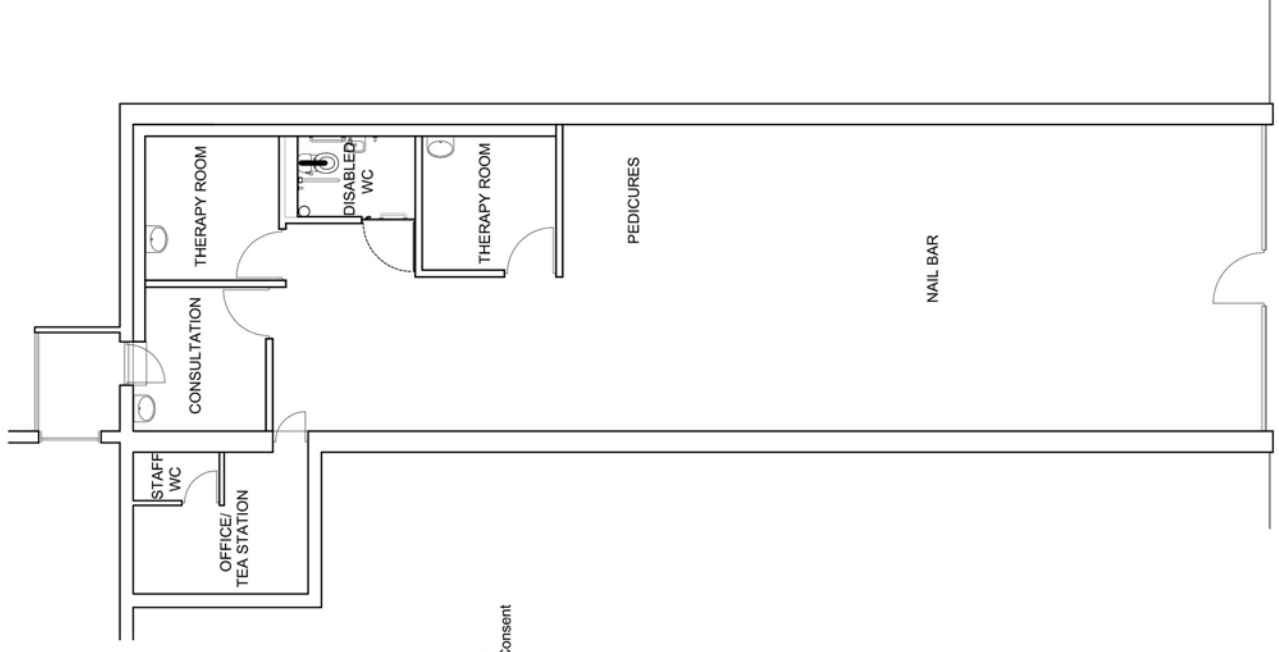
SCALE 1:100 @ A3	DRAWING NO. 15/23TB/01
DATE November 2015	



Signage details to be confirmed, with LED lighting over, to be subject of a separate application for Advertising Consent

New glazed shopfront with accessible entrance door and anodized aluminium framing

PROPOSED FRONT ELEVATION



PROPOSED GROUND FLOOR PLAN

T R Harris Design & Surveying Services
 559 Rayners Lane, Pinner, Middlesex HA5 5HP
 www.trharrisdesign.co.uk Tel: 07957 619812

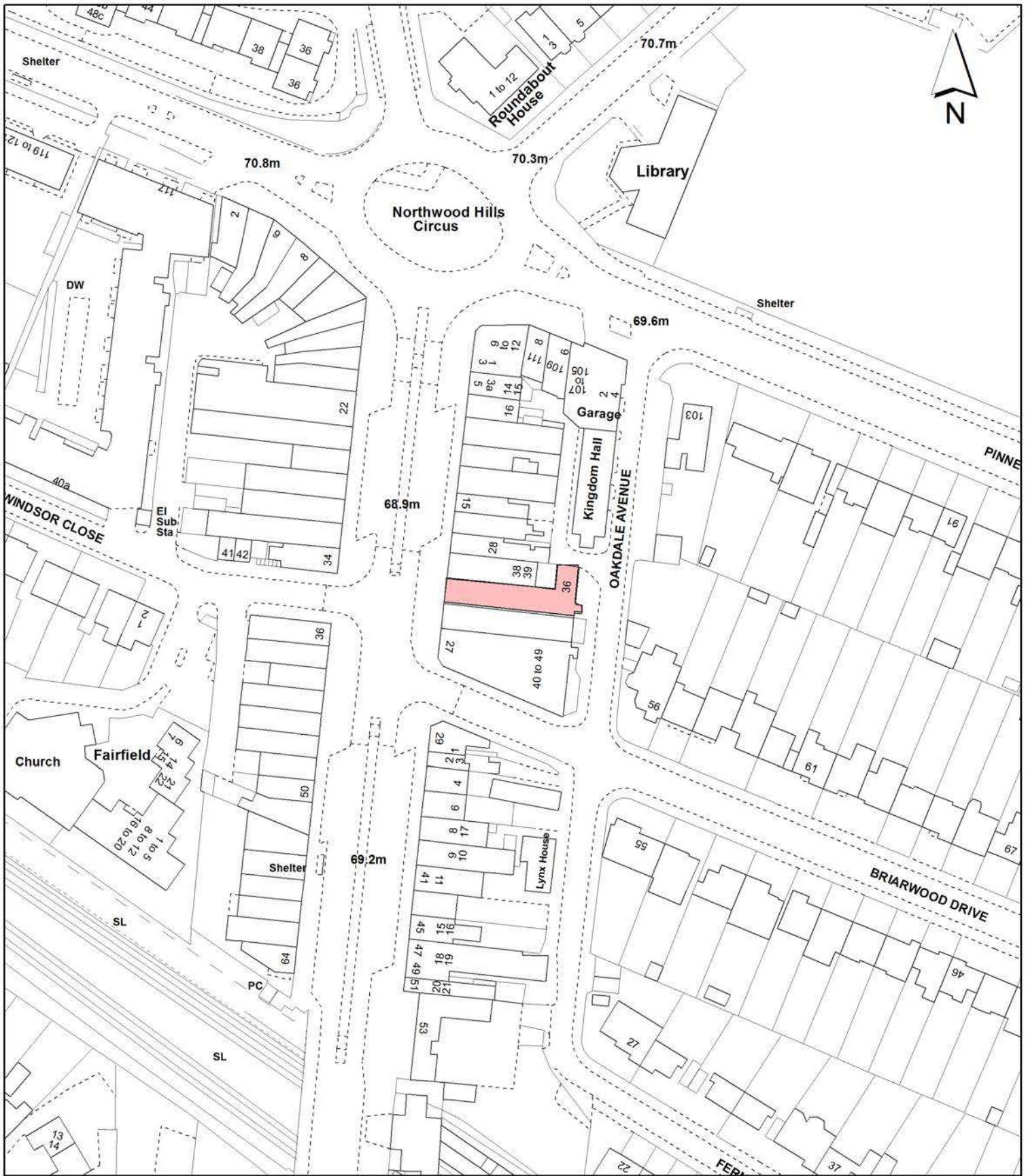
PROJECT

23 The Broadway
 Joel Street
 NORTHWOOD
 HA6 1NU

TITLE

Proposed Plans & Elevations

SCALE 1:100 @ A3	DRAWING NO. 15/23TB/02
DATE November 2015	



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Site Address:

**23 The Broadway
 Joel Street
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

8488/APP/2015/3905

Scale:

1:1,250

Planning Committee:

North Page 100

Date:

February 2016



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address THE ORCHARD ICKENHAM ROAD RUISLIP
Development: Installation of 3 x externally illuminated fascia signs, 4 x externally illuminated stand alone signs and 1 x internally illuminated menu light box
LBH Ref Nos: 62963/ADV/2015/65

Date Plans Received: 21/08/2015
Date Application Valid: 01/09/2015

Date(s) of Amendment(s):

The Orchard - Magpie

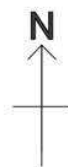


The Orchard
Ickenham Rd
Ruislip
Middlesex
HA4 7DR
01895 633481

OS MasterMap 1250/2500/10000 scale
03 July 2015, ID: BW1-00443679
maps.blackwell.co.uk

1:1250 scale print at A4, Centre: 508817 E, 187159 N

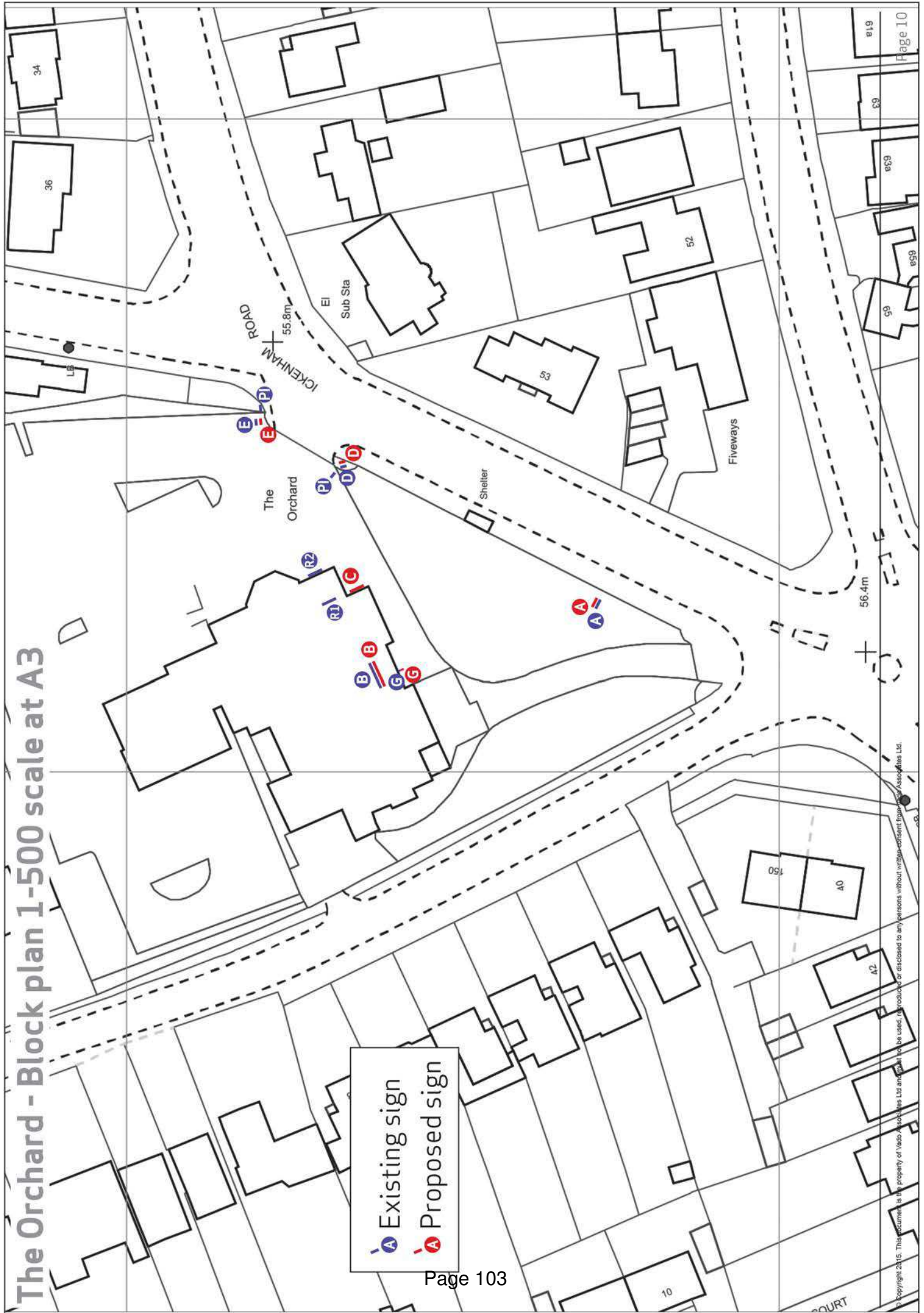
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100041040



BLACKWELL'S
www.blackwellmapping.co.uk

TEL: 0113 245 2623
comments@maps.blackwell.co.uk

The Orchard - Block plan 1-500 scale at A3



Existing sign
Proposed sign



Page 104

EXISTING

Costa sign and all other outdated brand signs and ancillary notices to be removed from site. Replace only those absolutely necessary.



OPTION TO RETAIN HOUSE NAME

G. Replace face panel to 440 x 675mm Internally illuminated menu unit, mounted to a total height of 1800mm right of entrance.

2No Vinyl cows applied facing each other on each set of entrance doors. Additional vinyl cows to be confirmed by SEA Design.

The Orchard - Beefeater Magpie Re Brand



EXISTING



PROPOSED

B. 400mm Cap height house name letters, flat cut finished white and pinmounted individually on to timber backboard. Sign scale to match existing as closely as possible. Sign illuminated by pelmet light.

Backboard is 4825 x 800mm.

The Orchard - Beefeater Magpie Re Brand



LANDSCAPING

PROPOSED

E. 1700mm Directional sign with scaffold plank print to 800mm square panel with Beefeater cow & letters with arrow left.

The Orchard - Beefeater Magpie Re Brand



EXISTING

R1. Remove Beefeater fascia from first floor and do not replace.

PROPOSED

C. 450mm Cap Beefeater letters in white with 1075 x 718mm brown cow with white outline sign written to the brickwork and illuminated by 2No cowl lamps overhead.

D. 1500mm Directional sign with scaffold plank print to 800mm square panel with Beefeater cow & letters with arrow right.



Page 108

EXISTING



PROPOSED

A. Replace existing flag sign panel with like for like 1500 x 2050mm panel. Scaffold plank digital print applied to aluminium panels fret cut with internally illuminated white acrylic letters. White acrylic Cow face decorated with brown vinyl all pushed through with 8mm thickness exposed beyond panel.

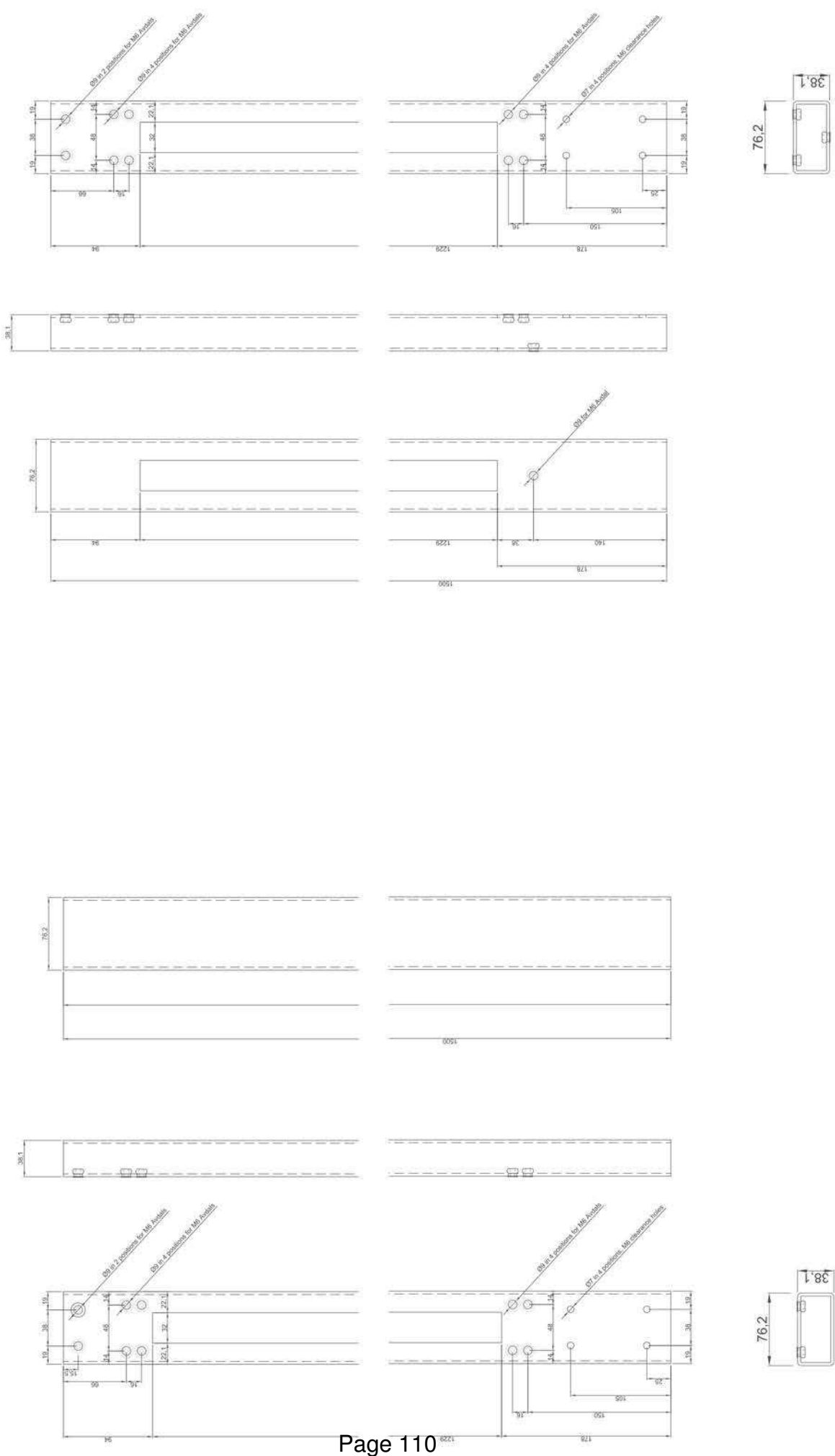
Existing support post to be finished in RAL 7016 Anthracite grey.

Leg. L/H

1:2
3"X1 1/2" X 10 gauge
Aluminium Box section

Leg. R/H

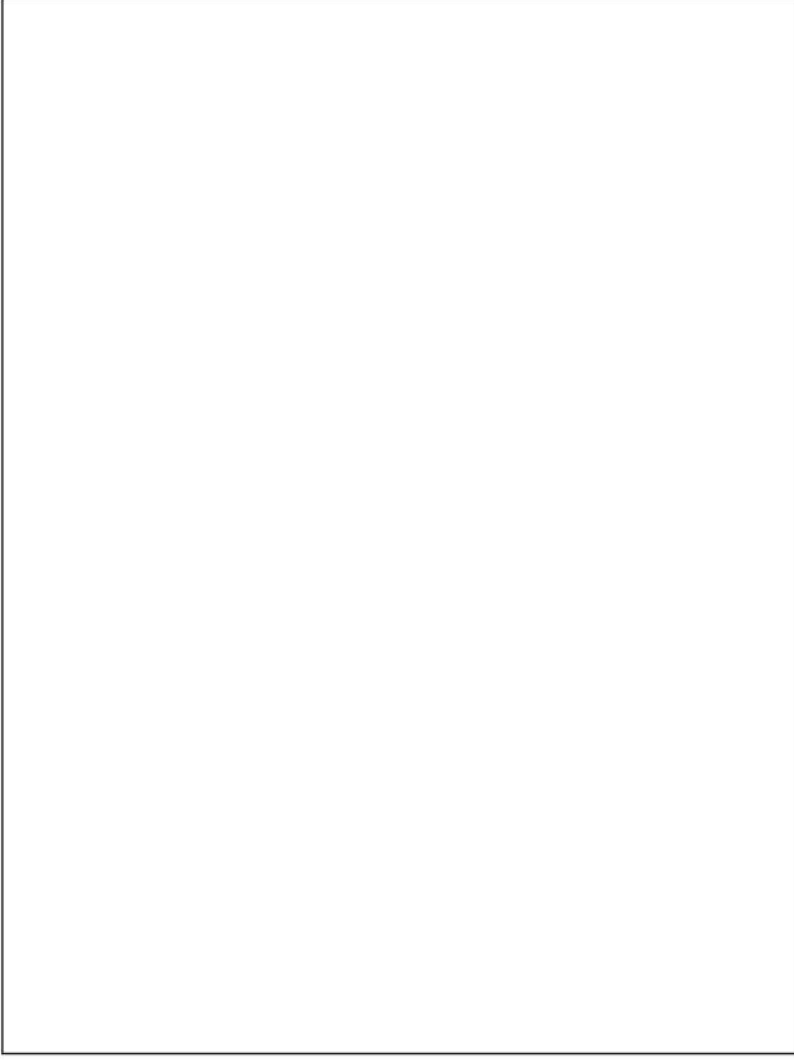
1:2
3"X1 1/2" X 10 gauge
Aluminium Box section



Small Promotional Unit		WHITBREAD	
M	SM-PR040-2	B	3/4
Rev	7/11/2013	MS	Murray
Legs: Detachable		As View @ A1	
Note: Width adjust according to 11/27/14 M2		11/27/14 M2	
Note: Refer to 11/27/14 M2 for details		11/27/14 M2	



Page 113



REMOVAL

- R1. Remove Beefeater box fascia sign and do not replace.
 - R2. Beefeater directional sign to be removed and not replaced.
- All other outdated brand signs and ancillary notices such as car park disclaimers are to be removed from site.

THE ORCHARD

6M

6M

A.



5M

4M

4M

Page 114

C.



2M

2M

1M

1M

G.



1.5M

1.5M

1M

1M

E.



D.





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Site Address:

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Ickenham Road**

**LONDON BOROUGH
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Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

62963/ADV/2015/65

Scale:

1:1,250

Planning Committee:

North Page 115

Date:

February 2016



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address WOODBINE COTTAGE TILE KILN LANE HAREFIELD
Development: Proposed replacement entrance gates from Tile Kiln Lane
LBH Ref Nos: 26852/APP/2015/3699

Date Plans Received: 06/10/2015 **Date(s) of Amendment(s):** 05/10/2015
Date Application Valid: 12/11/2015 26/01/2016

Woodbine Cottage, Tile Kiln Lane, Uxbridge, UB9 6LU

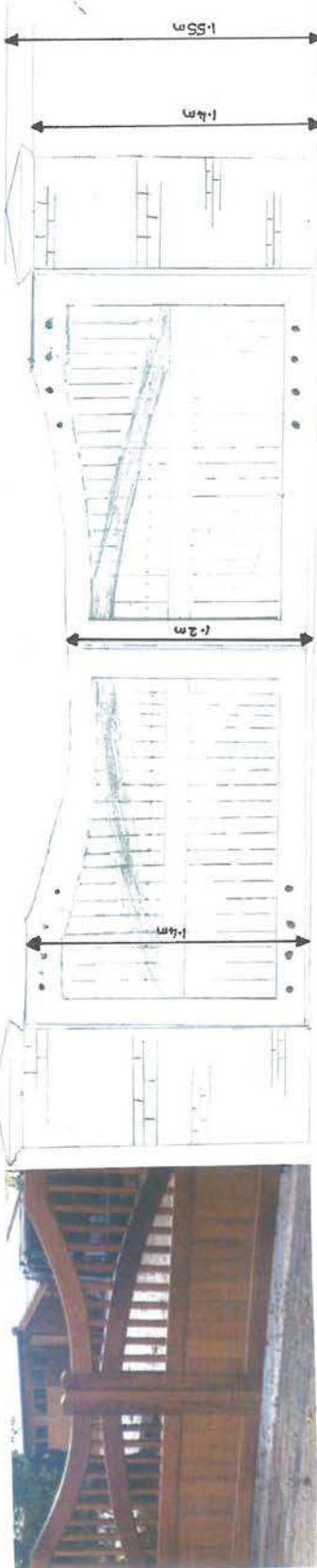


Site Plan shows area bounded by: 507589.0,187527.0 507789.0,187727.0 (at a scale of 1:1250) The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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IAN CORDINGALEY.
WOOD BINE COTTAGE.
TILE KILN LANE.
URBEIDGE
UB9 6LV.



NEW GATE

COBBLES

DRAWING BY:- O. BELL.
WENTWORTH GATES



Notes: -

TO BE READ IN CONJUNCTION WITH:-

ISSUE REVISION DATE

CHILTERN SURVEYS Ltd.
 LAND SURVEYS AND SITE ENGINEERING SERVICES
 Sparrow Mill, Ockendon, Thetford, Norfolk, UK. EC16 9BU
 Tel: 01328 531277 Mobile: 07952 60676
 Email: chiltonsurveys@bt.com
OFFICES IN LYDON AND BUCKENHAM/BERK

TITLE:-

Site Survey

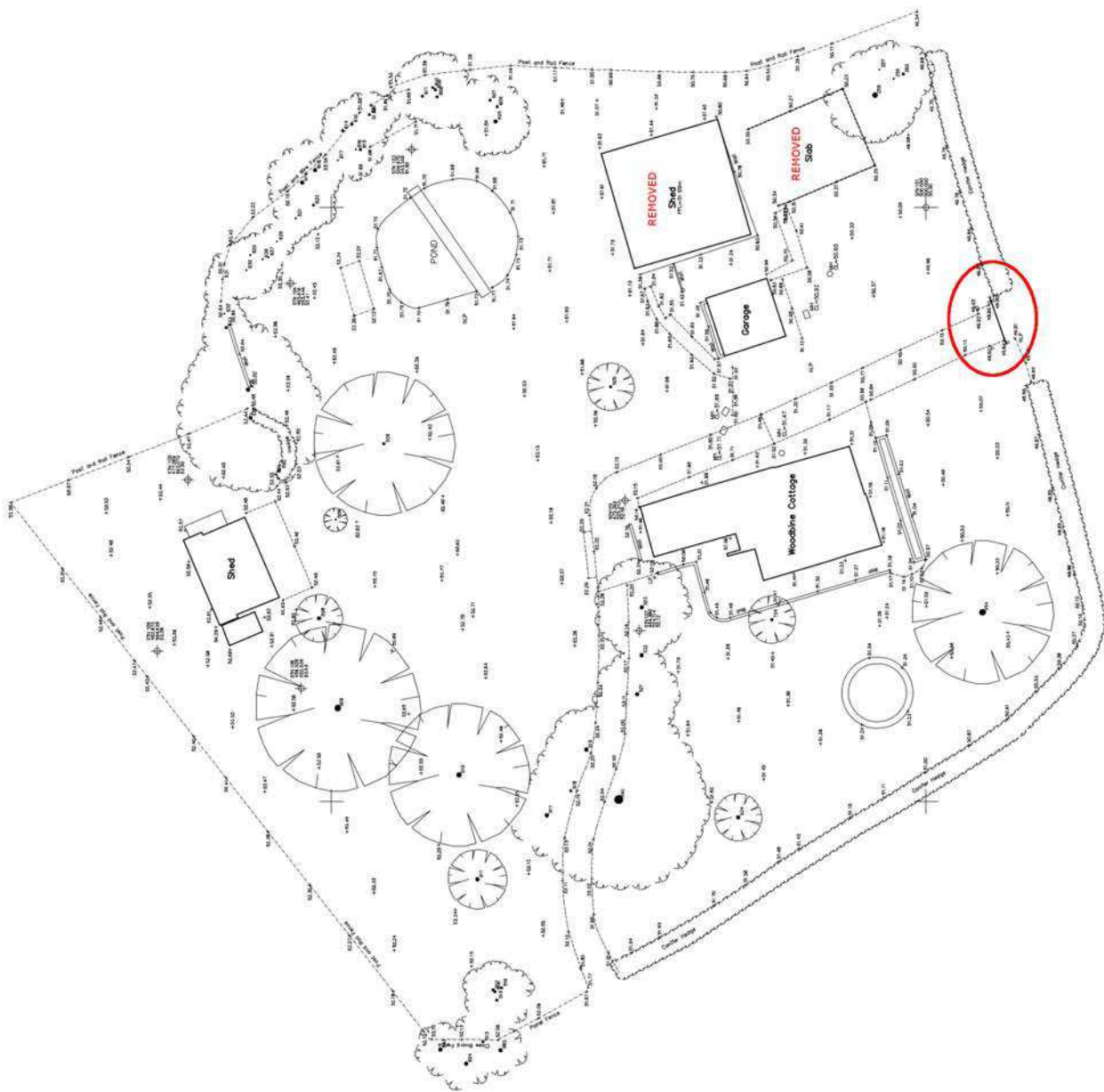
PROJECT:-

Woodbine Cottage
 Tile Kiln Lane
 Harefield.

SCALE: - 1:200
 DRAWN: - J.W.
 DWG. NO: - HARE1001
 DATE: - 04/03/14

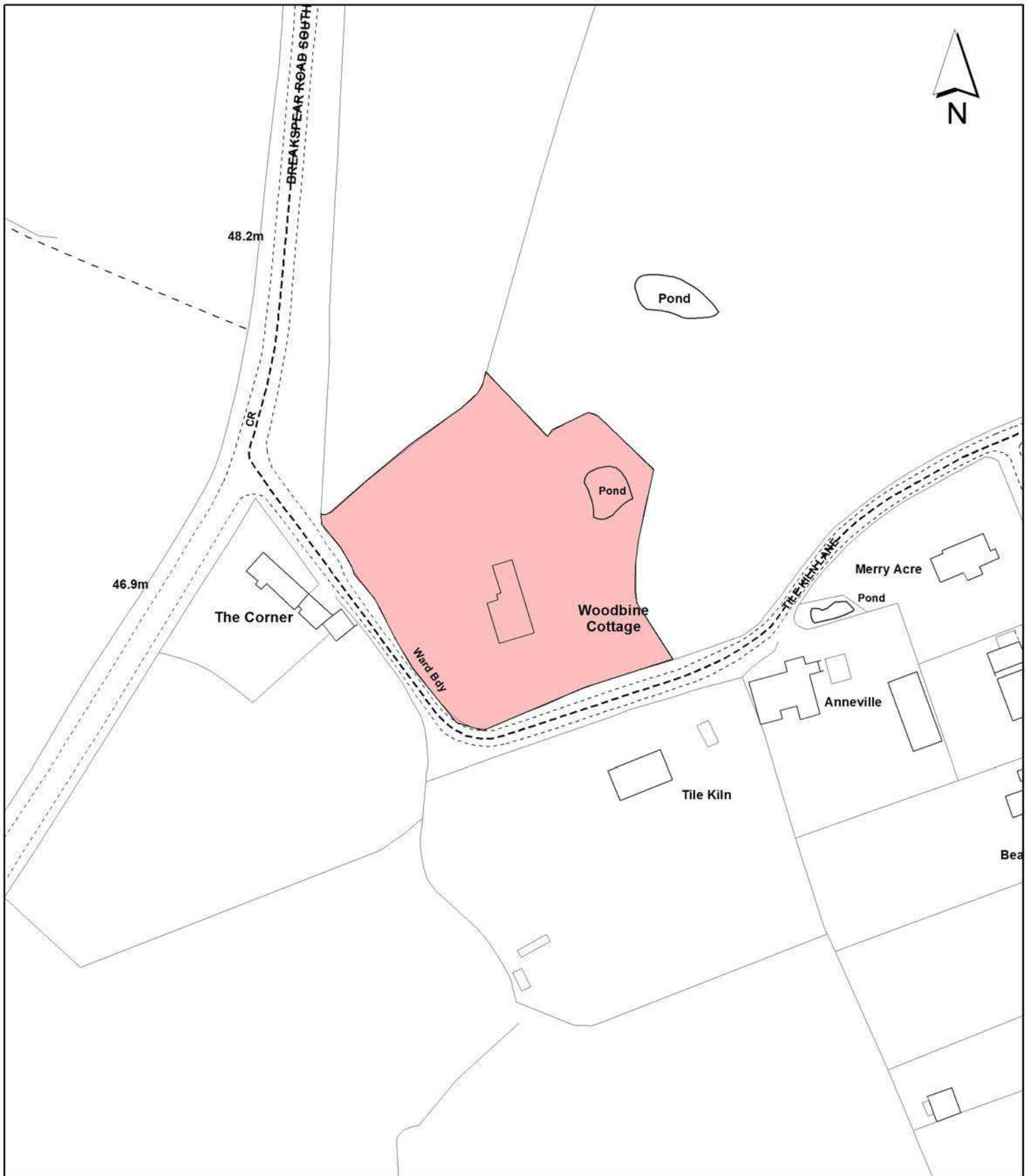
50mE

450mE



550mN

500mN



Notes:

 Site boundary

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Site Address: **Woodbine Cottage
 Tile Kiln Lane
 Harefield**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
26852/APP/2015/3699

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North Page 120

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